



1 EXISTING
Scale: 1/2" = 1'-0"



2 PROPOSED
Scale: 1/2" = 1'-0"

SHEET #	SHEET NAME
00	COVER SHEET
01	PROJECT COMPARISON
02	EXISTING SITE PLAN
03	PROPOSED SITE PLAN
04	CONCEPTUAL LANDSCAPE PLAN
05	PHASING PLAN
06	SITE PHOTOMETRIC
07	SITE TRUCK TURN
08	MATERIAL BOARD
09	BUILDING A PERSPECTIVE
10	BUILDING A ELEVATIONS
11	BUILDING A PLANS
12	BUILDING B PERSPECTIVE
13	BUILDING B ELEVATIONS
14	BUILDING B & C PLANS
15	BUILDING D PERSPECTIVE
16	BUILDING D PLANS
17	PAD BUILDING PERSPECTIVE
18	PAD BUILDING ELEVATIONS
19	SITE SECTION
20	SITE VIEWS
21	SITE PHOTO MAP
22	SITE PHOTO
23	SITE PHOTO
24	SITE PHOTO
25	ADJACENT SITE PHOTO
26	ADJACENT SITE PHOTO
27	ADJACENT SITE PHOTO
28	ADJACENT SITE PHOTO
29	ALTA SITE PLAN
30	TEANATIVE PARCEL MAP
31	FIRE ACCESS PLAN
32	PRELIMINARY GRADING
33	PRELIMINARY GRADING
34	PRELIMINARY GRADING
35	PRELIMINARY GRADING
36	PRELIMINARY GRADING
37	PRELIMINARY GRADING
38	PRELIMINARY GRADING
39	PRELIMINARY GRADING

[A] SITE INFORMATION

NET SITE AREA: 420,238 SF 9.65 acres)
SITE DEDICATION: NO SITE DEDICATION

PLANNING AND ZONING:
EXISTING LAND USE ZONE: NMU - NEIGHBORHOOD MIXED USE
PROPOSED LAND USE ZONE: NMU - NEIGHBORHOOD MIXED USE

EXISTING BUILDING AREA: 106,285 SF
Proposed Bldg A-1: (42,709 SF)
Proposed Bldg A-2: (4,366 SF)
Existing Building B: (25,532 SF)
Existing Building C: (6,843 SF)
Existing Building D: (15,966 SF)
Existing Bldg Pad A: (2,497 SF)
Proposed Bldg Pad B: (3,500 SF)

PROPOSED LOT COVERAGE: 24.1%
ALLOWABLE LOT COVERAGE: 40% (NMU)

GROSS BUILDING AREA ALL FLOORS: 101,413 SF
PROPOSED FLOOR AREA RATIO: 0.24 to 1
ALLOWABLE LOT COVERAGE: 0.38 to 1pu (NMU)

PROPOSED BUILDING HEIGHT: 39'-0"
ALLOWABLE BLDG. HEIGHT (NMU): 40'-0"

EXISTING PARKING: 516 Spaces
EXISTING PARKING RATIO: 4.85 per 1,000 SF

PROPOSED PARKING: 500 Spaces
PROPOSED PARKING RATIO: 4.93 per 1,000 SF

[B] PARCEL INFORMATION

ADDRESS: 24901 ALICIA PKWY, LAGUNA HILLS, CA 92653

A.P.N.: 620-011-89

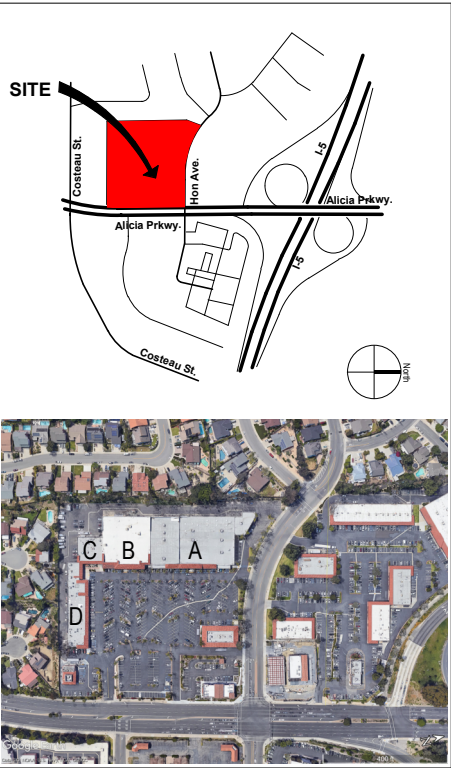
LEGAL DESCRIPTION:
PARCEL A:
PARCEL 1 IN THE CITY OF LAGUNA HILLS, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP FILED IN BOOK 62, PAGE 17 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION THEREOF LYING SOUTHEASTERLY OF THE NORTHEASTERLY PROLONGATION OF THE NORTHWESTERLY LINE OF PARCEL 2 AS SHOWN ON SAID MAP, EXCEPT 50 PERCENT OF ALL RIGHTS TO OIL, GAS AND OTHER HYDROCARBON AND MINERAL SUBSTANCES LYING UNDER OR THAT MAY BE PRODUCED FROM THE ABOVE DESCRIBED LAND, TOGETHER WITH 50 PERCENT OF ALL RIGHTS TO THE PROCEEDS THEREFROM AND 50 PERCENT OF ALL RENTS, BONUSES AND PROFITS ACCRUING THERE TO, PROVIDED HOWEVER, THAT GRANTEE WAIVES AND RELINQUISHES THE RIGHT TO USE OF OCCUPANCY OR TO ENTER UPON ANY PORTION OF THE SURFACE AND LAND, FOR THE PURPOSE OF DRILLING FOR, CAPTURING, PRODUCING, EXTRACTING, STORING, TREATING OR OTHERWISE HANDLING OR UTILIZING SUCH OIL, GAS OR OTHER HYDROCARBON MINERAL SUBSTANCES OR FOR THE PURPOSE OF EXERCISING GRANTEE'S RIGHT THERE TO, AS RESERVED IN DEEDS FROM FIRST WESTERN BANK AND TRUST COMPANY, A CORPORATION, SUCCESSOR TO FIRST NATIONAL BANK IN SANTA ANA TO JERRETT WILSON DUNLAP, A MARRIED MAN, RECORDED JULY 18, 1967 IN BOOK 8314, PAGE 98 OF OFFICIAL RECORDS AND J.L. BROWNING, AN UNMARRIED MAN, RECORDED JULY 18, 1967 IN BOOK 8314, PAGE 104 OF OFFICIAL RECORDS.

SAID LAND IS SHOWN AS PARCEL 1 ON LOT LINE ADJUSTMENT LL-78-13 ON LOT LINE ADJUSTMENT LL-78-13 RECORDED MAY 17, 1979 IN BOOK 13146, PAGE 1020 OF OFFICIAL RECORDS.

PARCEL B:
AN EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF PARCEL 2 OF PARCEL MAP, IN THE CITY OF LAGUNA HILLS, COUNTY OF ORANGE, STATE OF CALIFORNIA FILED IN BOOK 62, PAGE 17 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID PARCEL 2, THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL 2 75° 19' 07" WEST 45 FEET THENCE NORTH 77° 36' 40" EAST 50.54 FEET TO A POINT IN THE WESTERLY LINE OF ALICIA PARKWAY 100 FEET WIDE, AS SHOWN ON SAID PARCEL MAP, SAID POINT OF BEING DISTANT NORTH 14° 40' 53" EAST 23 FEET FROM THE POINT OF BEGINNING, THENCE ALONG SAID WESTERLY LINE SOUTH 14° 40' 53" WEST 23 FEET TO THE POINT OF BEGINNING.

PARCEL C:
AN EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF PARCELS 1 AND 2 OF PARCEL MAP IN THE CITY OF LAGUNA HILLS, COUNTY OF ORANGE, STATE OF CALIFORNIA FILED IN BOOK 62, PAGE 17 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF PARCEL 2 OF SAID PARCEL MAP, THENCE ALONG THE NORTHERLY PROLONGATION OF THE WESTERLY LINE OF SAID PARCEL 2 NORTH 14° 40' 53" EAST 23.73 FEET TO A POINT ON THE SOUTHERLY LINE OF HON AVENUE, 80 FEET WIDE, AS SHOWN ON SAID PARCEL MAP, SAID POINT BEING THE TRUE POINT OF BEGINNING, THENCE ALONG THE WESTERLY LINE OF PARCEL 2 AND THE NORTHERLY PROLONGATION THEREOF SOUTH 14° 40' 53" WEST 75 FEET, THENCE NORTH 25° 59' 29" EAST 76.49 FEET TO A POINT IN SAID SOUTHERLY LINE OF HON AVENUE, SAID POINT BEING SOUTH 75° 19' 07" EAST 15 FEET FROM THE TRUE POINT OF BEGINNING, THENCE ALONG SAID SOUTHERLY LINE NORTH 75° 19' 07" WEST 15 FEET TO THE TRUE POINT OF BEGINNING.



LAGUNA HILLS PLAZA

24901 Alicia Pkwy
Laguna Hills, CA 92653

ENTITLEMENT COVER SHEET

AO Architecture.
Design.
Relationships.

144 North Orange Street, Orange, California 92666
714 / 639-9860
aoarchitects.com

Scale
Job No.
Date

12" = 1'-0"
2020-434
12-21-2022

00

EXISTING SHOPPING CENTER

TOTAL LAND AREA:.....420,238 SF
9.65 acresACRE

GROUND LEVEL BLDG. AREA:.....106,285 SF
PROPOSED LOT COVERAGE:.....26.3%
LAND TO BLDG. RATIO:.....2.95 to 1

TOTAL BUILDING AREA:.....106,276 SF
PROPOSED F.A.R.:.....0.25 to 1

PARKING REQUIRED:.....577 Spaces
PARKING PROVIDED:.....516 Spaces
PARKING RATIO:.....4.86 Per 1,000 SF

EXISTING PARKING

EXISTING ACCESSIBLE.....16 Spaces
EXISTING VAN ACCESSIBLE.....3 Spaces
EXISTING STANDARD PARKING.....499 Spaces
TOTAL EXISTING PARKING.....518

ADDITIONAL EXTERIOR AREAS

- Bank of America ATM Pedestal: +/- 300 SF
- Shop Building C Exterior Patio: +/- 600 SF

EXISTING MAJOR BLDG TO BE DEMOLISHED					
M-A1	TENANT A1	45,013 SF	RETAIL	1 Space per 200 SF	225 Spaces
M-A1	TENANT A1 WAREHOUSE	3,792 SF	RETAIL - STORAGE & SHIPPING	1 Space per 1,500 SF	3 Spaces
		48,805 SF			228
EXISTING PAD BLDG TO BE DEMOLISHED					
SH-A	Diversified Medical Equip.	1,860 SF	RETAIL	1 Space per 200 SF	9 Spaces
SH-B	Verona Kiten & Bath	3,275 SF	RETAIL	1 Space per 200 SF	16 Spaces
SH-C	AV Medical	1,507 SF	MEDICAL / DENTAL OFFICE	1 Space per 150 SF	10 Spaces
		6,642 SF			35
EXISTING MAJOR B					
M-B	TENANT B	21,741 SF	RETAIL	1 Space per 200 SF	109 Parking Spaces
M-B	TENANT B WAREHOUSE	3,791 SF	RETAIL - STORAGE & SHIPPING	1 Space per 1,500 SF	3 Parking Spaces
		25,532 SF			112
EXISTING SHOPS BLDG C					
M-C1	TENANT C	1,967 SF	VETERINARIAN	1 Space per 200 SF	10 Parking Spaces
M-C2	TENANT D	4,867 SF	RESTAURANT >4,000 SF	40 stalls, plus 1 stall/50 SF above 4,000 SF	57 Parking Spaces
		6,834 SF			67
EXISTING SHOPS BLDG. D					
SH-A	Little Caesar	1,505 SF	RESTAURANT - TAKE OUT	1 Space per 250 SF	6 Spaces
SH-B	Squared Spa Massage	1,493 SF	GYM / SPA / HEALTHCLUB	1 Space per 100 SF	15 Spaces
SH-C	Prosperity Thai	1,255 SF	RESTAURANT - TAKE OUT	1 Space per 250 SF	5 Spaces
SH-D	Maw N Paw Kettle Corn	1,262 SF	RETAIL	1 Space per 200 SF	6 Spaces
SH-E	UPS Store	1,257 SF	RETAIL	1 Space per 200 SF	6 Spaces
SH-F	Z-Nails	626 SF	BEAUTY / NAILS SALON	3 Spaces per Beautician Chair	0 Spaces
SH-G	LDC Dental Center	1,893 SF	MEDICAL / DENTAL OFFICE	1 Space per 150 SF	13 Spaces
SH-H	Martial Arts	1,263 SF	GYM / SPA / HEALTHCLUB	1 Space per 100 SF	13 Spaces
SH-I	KUMON	1,200 SF	BUSINESS / OFFICE	1 Space per 300 SF	4 Spaces
SH-J	MVP Sportscard	866 SF	RETAIL	1 Space per 200 SF	4 Spaces
SH-K	EZ Tech Wireless	955 SF	RETAIL	1 Space per 200 SF	5 Spaces
SH-L	Vision Crafters	595 SF	RETAIL	1 Space per 200 SF	3 Spaces
SH-M	La Mirage Hair	998 SF	BEAUTY / NAILS SALON	3 Spaces per Beautician Chair	0 Spaces
SH-N	Daniels Acupuncture	798 SF	MEDICAL / DENTAL OFFICE	1 Space per 150 SF	5 Spaces
		15,966 SF			85
EXISTING PAD A					
P-A	CARLS JR	2,497 SF	FAST FOOD	1 Space per 50 SF	50 Spaces
		2,497 SF			50
		106,276 SF			577

PARKING CALCULATIONS ARE FOR REFERENCE ONLY. CALCULATIONS ARE BASED ON LAGUNA HILLS ZONING ORDINANCE MUNICIPAL CODE CHAPTER 9-44. SEE PARKING STUDY FOR LAGUNA HILLS PLAZA OPTION 1-B FOR SHARED PARKING ANALYSIS.

PROPOSED SHOPPING CENTER

TOTAL LAND AREA:.....420,238 SF
9.65 acresACRE

GROUND LEVEL BLDG. AREA:.....101,128 SF
PROPOSED LOT COVERAGE:.....24.1%
LAND TO BLDG. RATIO:.....3.16 to 1

TOTAL BUILDING AREA:.....101,128 SF
PROPOSED F.A.R.:.....0.24 to 1

PARKING REQUIRED:.....616 Spaces
PARKING PROVIDED:.....500 Spaces
PARKING RATIO:.....4.94 Per 1,000 SF

PROPOSED PARKING

ACCESSIBLE - EVSE.....2 Spaces
AMBULATORY - EVSE.....1 Spaces
EVCS.....1 Spaces
EVSE.....45 Spaces
VAN ACCESSIBLE - EVCS.....1 Spaces

CLEAN AIR VEHICLE PARKING.....10 Spaces
.....10

ACCESSIBLE PARKING.....11 Spaces
ACCESSIBLE PARKING EXISTING.....4 Spaces
VAN ACCESSIBLE PARKING.....3 Spaces
VAN ACCESSIBLE PARKING EXISTING.....2 Spaces

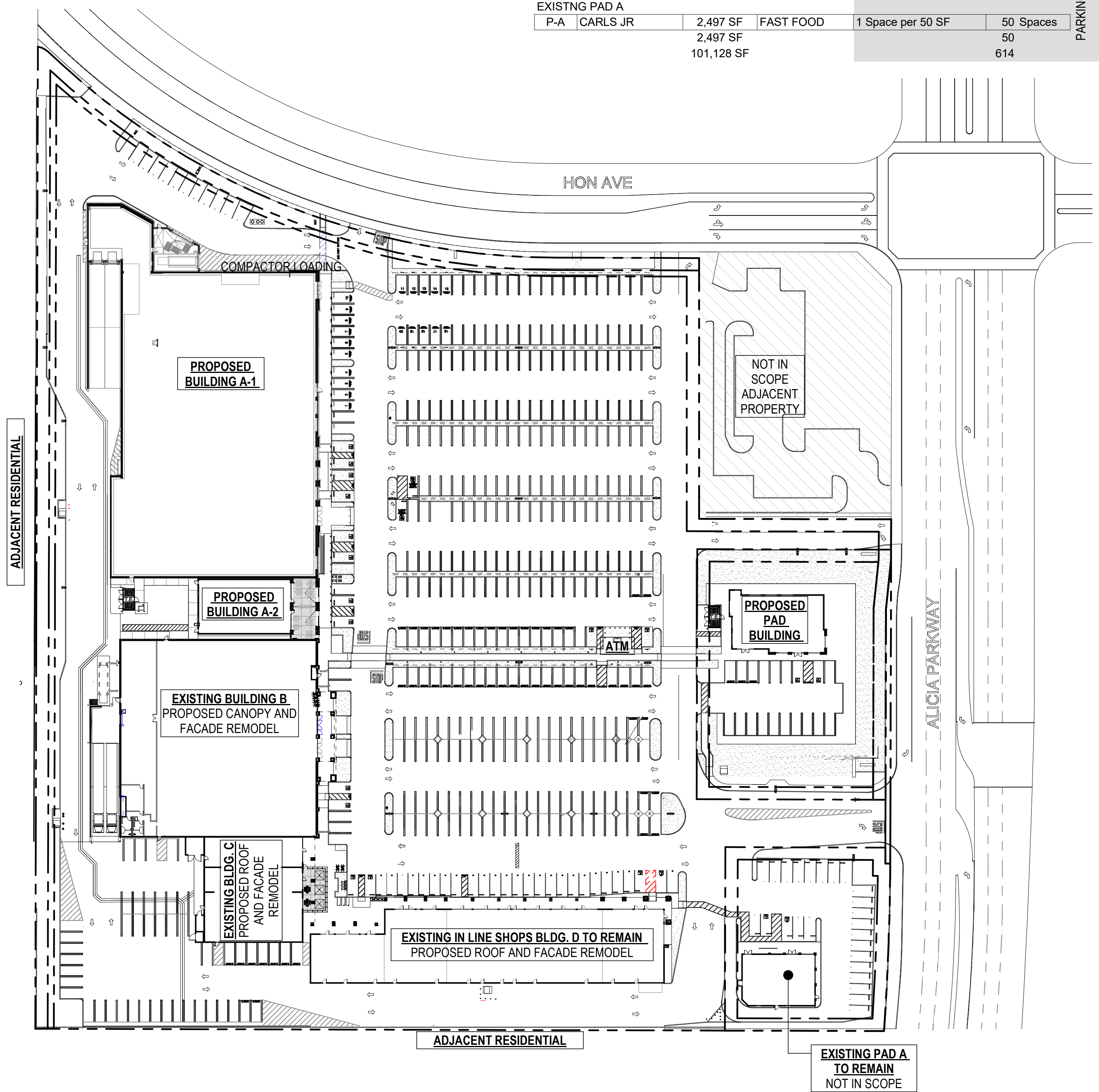
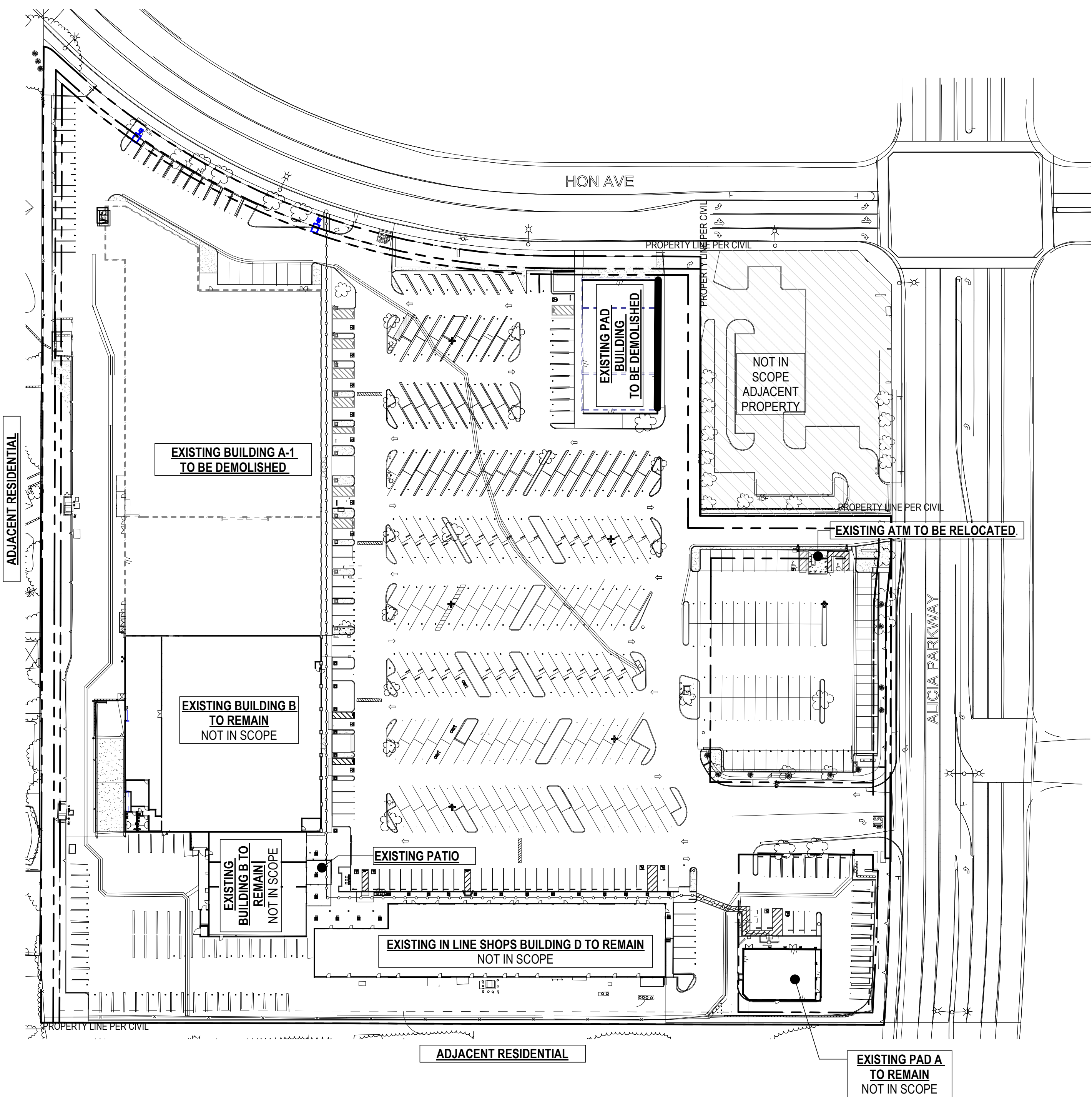
STANDARD PARKING.....361 Spaces
STANDARD PARKING EXISTING.....36 Spaces
STANDARD PARKING RE-PAINT EXISTING.....23 Spaces

ADDITIONAL EXTERIOR AREAS

- Bank of America ATM Pedestal: +/- 300 SF
- Shop Building C Exterior Patio: +/- 600 SF

PROPOSED BLDG. A1					
M-A1	TENANT A	42,435 SF	GROCERY	1 Space per 200 SF	212 Spaces
		42,435 SF			212
PROPOSED MAJOR A-2					
M-A2.1	TENANT	1,682 SF	RESTAURANT <4,000 SF	1 Space per 100 SF	17 Spaces
M-A2.1	OPEN AIR PATIO	500 SF	RESTAURANT <4,000 SF	1 Space per 100 SF	5 Spaces
M-A2.2	TENANT	1,682 SF	RESTAURANT <4,000 SF	1 Space per 100 SF	17 Spaces
M-A2.2	OPEN AIR PATIO	500 SF	RESTAURANT <4,000 SF	1 Space per 100 SF	5 Spaces
		4,364 SF			44
PROPOSED PAD BUILDING					
PB-1	Area	1,750 SF	RETAIL	1 Space per 200 SF	9 Spaces
PB-2	Area	1,750 SF	FAST FOOD	1 Space per 50 SF	35 Spaces
		3,500 SF			44
EXISTING MAJOR B					
M-B	TENANT B	21,741 SF	RETAIL	1 Space per 200 SF	109 Parking Spaces
M-B	TENANT B WAREHOUSE	3,791 SF	RETAIL - STORAGE & SHIPPING	1 Space per 1,500 SF	3 Parking Spaces
		25,532 SF			112
EXISTING SHOPS BLDG C					
M-C1	TENANT C	1,967 SF	VETERINARIAN	1 Space per 200 SF	10 Parking Spaces
M-C2	TENANT D	4,867 SF	RESTAURANT >4,000 SF	40 stalls, plus 1 stall/50 SF above 4,000 SF	57 Parking Spaces
		6,834 SF			67
EXISTING SHOPS BLDG. D					
SH-A	Little Caesar	1,505 SF	RESTAURANT - TAKE OUT	1 Space per 250 SF	6 Spaces
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SH-D	Maw N Paw Kettle Corn	1,262 SF	RETAIL	1 Space per 200 SF	6 Spaces
SH-E	UPS Store	1,257 SF	RETAIL	1 Space per 200 SF	6 Spaces
SH-F	Z-Nails	626 SF	BEAUTY / NAILS SALON	3 Spaces per Beautician Chair	0 Spaces
SH-G	LDC Dental Center	1,893 SF	MEDICAL / DENTAL OFFICE	1 Space per 150 SF	13 Spaces
SH-H	Martial Arts	1,263 SF	GYM / SPA / HEALTHCLUB	1 Space per 100 SF	13 Spaces
SH-I	KUMON	1,200 SF	BUSINESS / OFFICE	1 Space per 300 SF	4 Spaces
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SH-N	Daniels Acupuncture	798 SF	MEDICAL / DENTAL OFFICE	1 Space per 150 SF	5 Spaces
		15,966 SF			85
EXISTING PAD A					
P-A	CARLS JR	2,497 SF	FAST FOOD	1 Space per 50 SF	50 Spaces
		2,497 SF			50
		101,128 SF			614

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LAGUNA HILLS PLAZA

24901 Alicia Pkwy
Laguna Hills, CA 92653

ENTITLEMENT
PROJECT COMPARISON

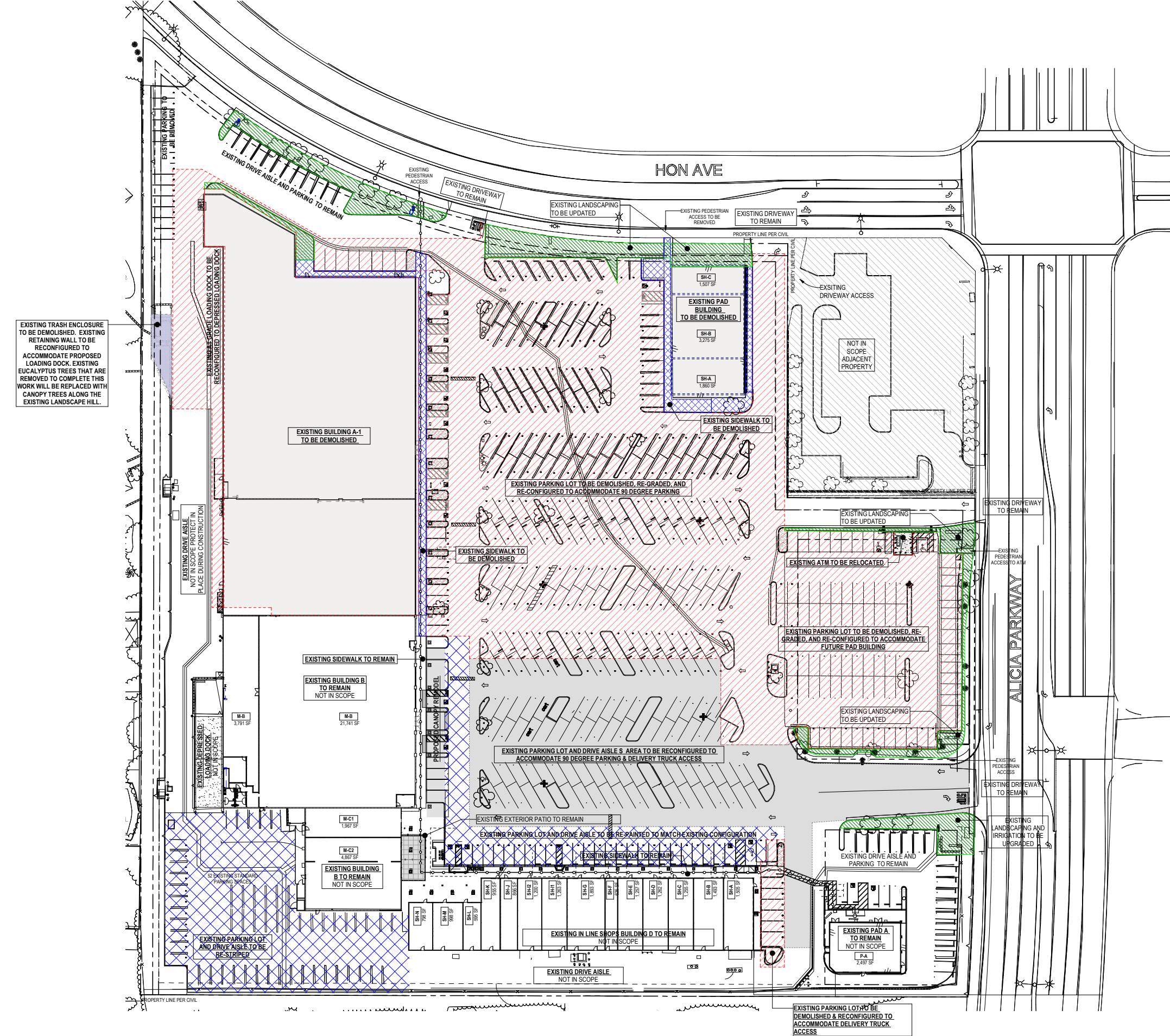


144 North Orange Street, Orange, California 92866
714 / 639-9860
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Scale
Job No.
Date

01

1" = 60'-0"
2020-434
12-21-2022



EXISTING SHOPPING CENTER

TOTAL LAND AREA: 420,238 SF
9.65 acres

GROUND LEVEL BLDG. AREA: 106,285 SF
PROPOSED LOT COVERAGE: 25.3%
LAND TO BLDG. RATIO: 2.95 to 1

TOTAL BUILDING AREA: 106,285 SF
PROPOSED F.A.R.: 0.25 to 1

PARKING REQUIRED: 577 Spaces
PARKING PROVIDED: 516 Spaces
PARKING RATIO: 4.85 Per 1,000 SF
REQ. PARKING REDUCTION: 10.57%

ADDITIONAL EXTERIOR AREAS
• Bank of America ATM Pedestal: +/- 300 SF
• Shop Building C Exterior Patio: +/- 600 SF

REQUIRED PARKING

EXISTING MAJOR BLDG TO BE DEMOLISHED					
M-A1	TENANT A1	45,013 SF	RETAIL	1 Space per 200 SF	225 Spaces
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48,805 SF					228

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6,642 SF					35

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25,532 SF					112

EXISTING SHOPS BLDG C					
M-C1	TENANT C	1,967 SF	VETERINARIAN	1 Space per 200 SF	10 Parking Spaces
M-C2	TENANT D	4,867 SF	RESTAURANT	40 stalls, plus 1 stall/50 SF above 4,000 SF	57 Parking Spaces
6,834 SF					67

EXISTING SHOPS BLDG. D					
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LAGUNA HILLS PLAZA

24901 Alicia Pkwy
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ENTITLEMENT EXISTING SITE PLAN



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Scale
Job No.
Date

02

1/32" = 1'-0"
2020-434
12-21-2022

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9.65 acresACRE

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		2,497 SF			50
		101,128 SF			614

ACCESSIBLE - EVSE	2 Spaces
AMBULATORY - EVSE	1 Spaces
EVCS	1 Spaces
EVSE	45 Spaces
VAN ACCESSIBLE - EVCS	1 Spaces
	50
CLEAN AIR VEHICLE PARKING	10 Spaces
	10
ACCESSIBLE PARKING	11 Spaces
ACCESSIBLE PARKING EXISTING	4 Spaces
VAN ACCESSIBLE PARKING	3 Spaces
VAN ACCESSIBLE PARKING EXISTING	2 Spaces
	20
STANDARD PARKING	361 Spaces
STANDARD PARKING EXISTING	36 Spaces
STANDARD PARKING RE-PAINT EXISTING	23 Spaces
	420
	500



PARKING STALL SHADING

THE PARKING LOT LANDSCAPING INCLUDES TREES WITH SHADE CANOPIES INTENDED TO SHADE A MINIMUM OF 40% OF THE PARKING STALL AREA WITHIN 15 YEARS OF PLANTING. THE COMMUNITY DEVELOPMENT DIRECTOR MAY DETERMINE THE SIZE OR NUMBER OF TREES TO BE INSTALLED SHOULD BE INCREASED.

PROJECT SUMMARY:

TOTAL SITE AREA: 9.647 ACRES, 420,238 SF
TOTAL EXISTING LOT COVERAGE: BLDG. 106,285 SF, 25.3%
TOTAL PROPOSED LOT COVERAGE: BLDG. 101,413 SF, 24.1%
TOTAL EXIST. LANDSCAPE COVERAGE: 45,400 SF, 10.8%
TOTAL PROP. LANDSCAPE COVERAGE: 47,197 SF, 11.2%
• PROPOSED PERIMETER LANDSCAPE: 23,726 SF, 5.6%
• PROPOSED INTERIOR LANDSCAPE: 23,471 SF, 5.6%
PROPOSED PARKING SPACES: 500
REQUIRED PARKING LOT TREES: 84 (1 PER 6 PARKING SPACES)
PROPOSED PARKING LOT TREES: 111

PROJECT LEGEND

- 1 PROJECT BOUNDARY- REFER TO CIVIL ENGINEER.
- 2 CURB & GUTTER- REFER TO CIVIL ENGINEER.
- 3 CONCRETE WALK- REFER TO CIVIL/ ARCHITECTURE PLANS.
- 4 HANDICAP RAMP- REFER TO CIVIL ENGINEER.
- 5 PROJECT SIGNAGE/WAYFINDING- REFER TO ARCHITECTURE PLANS. INSTALL DECORATIVE ROCK AT THE BASE OF ALL SIGNS FOR MAINTENANCE CONCERNS.

IRRIGATION SYSTEM DESCRIPTION AND OVERVIEW:

SHRUB AND GROUND COVER AREAS SHALL UTILIZE A DRIPLINE EMITTER TUBING SET UP TO ACHIEVE A HIGH-EFFICIENCY CONTROLLED DISCHARGE. TREES SHALL BE IRRIGATED WITH A DRIP EMITTER BASIN SYSTEM TO PROVIDE MONTHLY DEEP WATERING EVENTS AFTER ESTABLISHMENT. ANY TURF AREAS SHALL UTILIZE STREAM ROTOR NOZZLES ON POP-UP SPRINKLER BODIES WITH BUILT-IN CHECK VALVES PER CITY LANDSCAPE ORDINANCE REQUIREMENTS. LANDSCAPE AREAS SHALL BE ASSIGNED TO AN APPROPRIATE WATER USE HYDROZONE IN COMPLIANCE WITH THE CITY'S WATER EFFICIENCY LANDSCAPE ORDINANCE.

THE IRRIGATION SYSTEM SHALL BE SUPPLIED WITH A DEDICATED IRRIGATION USE ONLY DOMESTIC WATER METER AND A HIGH HAZARD BACKFLOW PREVENTER DEVICE. SHUT-OFF VALVES SHALL BE LOCATED THROUGHOUT THE SYSTEM TO PROVIDE PARTIAL SYSTEM SHUT DOWN FOR MAINTENANCE OPERATIONS. QUICK COUPLER VALVES SHALL BE LOCATED THROUGH THE PROPERTY FOR INCIDENTAL WATERING OF TREES AND SHRUBS.

A WEATHER-DRIVEN 'SMART' CONTROLLER SHALL OPERATE WITH AUTOMATIC DAILY SCHEDULING ADJUSTMENTS BASED ON REAL TIME WEATHER DATA. THE CONTROLLER SHALL OPERATE A MASTER VALVE AND FLOW SENSOR TO PROVIDE HIGH-FLOW SHUT DOWN CAPABILITY AS AN ADDED SECURITY FEATURE.

SHRUB AND GROUND COVER:

ALL PROPOSED SHRUB AND GROUND COVER MATERIAL WILL BE A MINIMUM FIVE (5) GALLON SIZE. ALL MATERIAL WILL BE CAREFULLY SELECTED TO ENSURE ALL SPECIES ARE LOCALLY GROWN FROM THE SOUTHERN CALIFORNIA PLANT PALETTE. NO EXOTIC OR INVASIVE SPECIES WILL BE ALLOWED.

SHRUBS AND GROUND COVER MATERIAL WILL BE SELECTED FOR THEIR LOW WATER CHARACTERISTICS, ALONG WITH A FOCUS ON MAINTENANCE FRIENDLY MATERIAL.

THE COLORED HATCHING SHOWN REPRESENTS DIFFERENT GROUPINGS OF PLANT MATERIAL, EACH REPRESENTING A DIFFERENT VARIETY AND SIZE SUITABLE FOR EACH LOCATION.

NO VIEWS OR SITE LINES WILL BE OBSTRUCTED.

SHRUB AND GROUND COVER LEGEND:

- | | |
|--|---|
| ENTRY ACCENT LANDSCAPE 12"-36" MAX HEIGHT. | NEW SLOPE LANDSCAPE 12"-36" MAX HEIGHT. |
| PARKWAY LANDSCAPE 12"-36" MAX HEIGHT. | EXISTING SLOPE LANDSCAPE TO REMAIN AT REAR OF BUILDING. |
| BACKGROUND LANDSCAPE 24"-36" MAX HEIGHT. | ACCENT PARKING LOT LANDSCAPE 18"-24" MAX HEIGHT. |
| ACCENT PARKING LOT LANDSCAPE 12"-24" MAX HEIGHT. | |

PROPOSED TREE LEGEND



PLATANUS X HISPANICA - LONDON PLANETREE
STANDARD TRUNK
SIZE: 30'-40' H X 30'-40' W



LAGERSTROEMIA INDICA X FAUREI 'NATCHEZ' - NATCHEZ CRAPE MYRTLE
STANDARD AND MULTI-BRANCH FORM
SIZE: 18'-25' H X 15'-20' W



CUPANIOPSIS ANACARDIODES - CARROTWOOD
STANDARD TRUNK
SIZE: 20'-30' H X 20'-30' W



OPTION 1



OPTION 2



ULMUS PARVIFOLIA 'TRUE GREEN' - TRUE GREEN CHINESE ELM
STANDARD TRUNK
SIZE: 20'-30' H X 20'-30' W



TRISTANIA CONFERTA - BRISBANE BOX
COLUMN FORM
SIZE: 20'-30' H X 15'-20' W

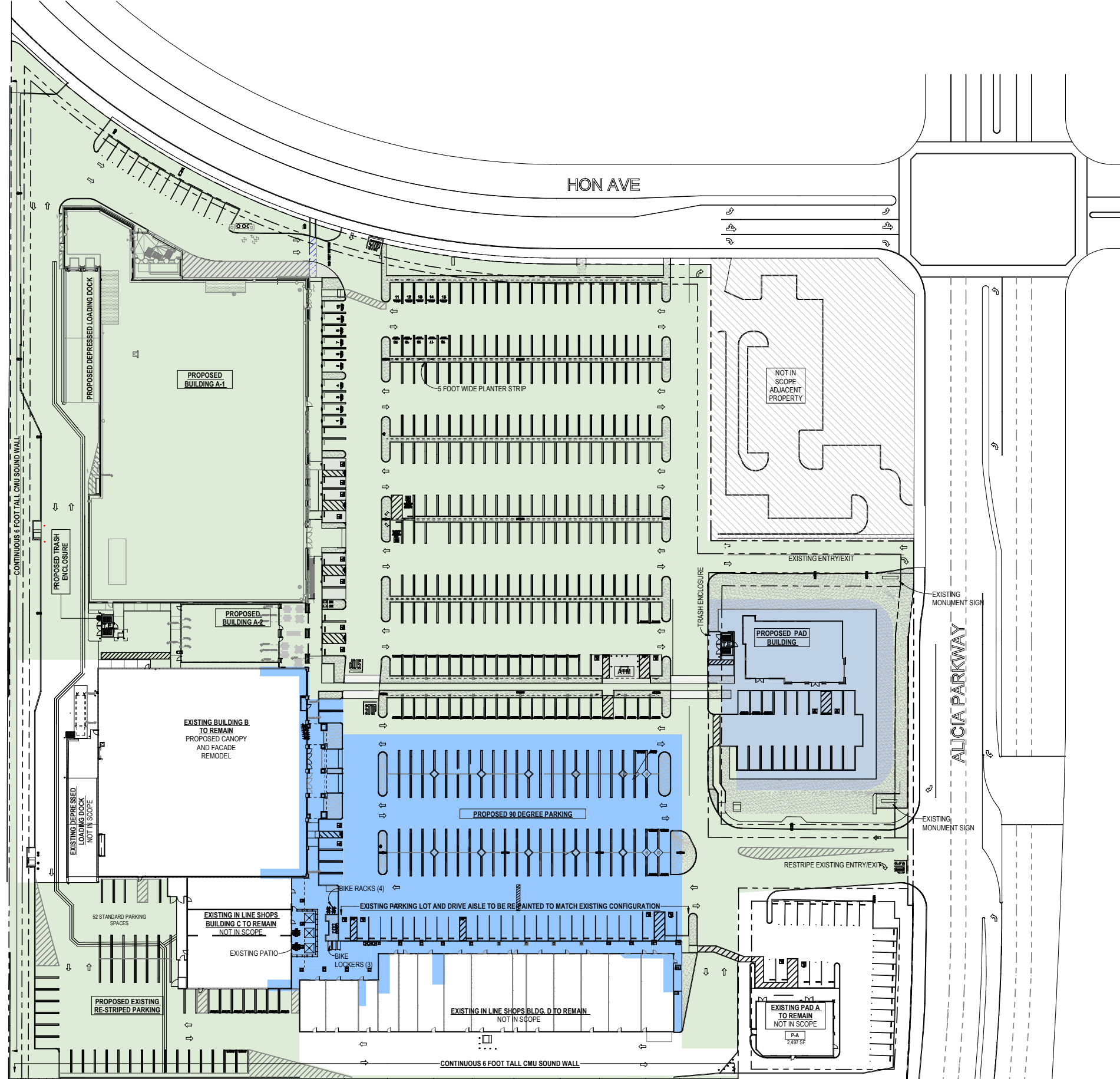


EXISTING EUCALYPTUS TO REMAIN- DO NOT DISTURB DURING ALL PHASES OF CONSTRUCTION.



EXISTING PINE TREES TO REMAIN- DO NOT DISTURB DURING ALL PHASES OF CONSTRUCTION.





- DEMO EXISTING PAD
- DEMO EXISTING BLDG A-1
- PROPOSED BUILDING A-1
- PROPOSED BUILDING A-2
- SITE GRADING
- SITE PARKING
- SITE LIGHTING
- SITE LANDSCAPE
- SITE SOUND WALL
- SITE RETAINING WALL

- EXISTING BUILDING B CANOPY REMODEL
- EXISTING BUILDING B FACADE REMODEL
- EXISTING BUILDING C & D FACADE REMODEL
- EXISTING BUILDING C & D ROOF REMODEL
- SITE PARKING
- SITE LIGHTING
- SITE LANDSCAPE

- PROPOSED PAD BUILDING
- SITE PARKING
- SITE LIGHTING



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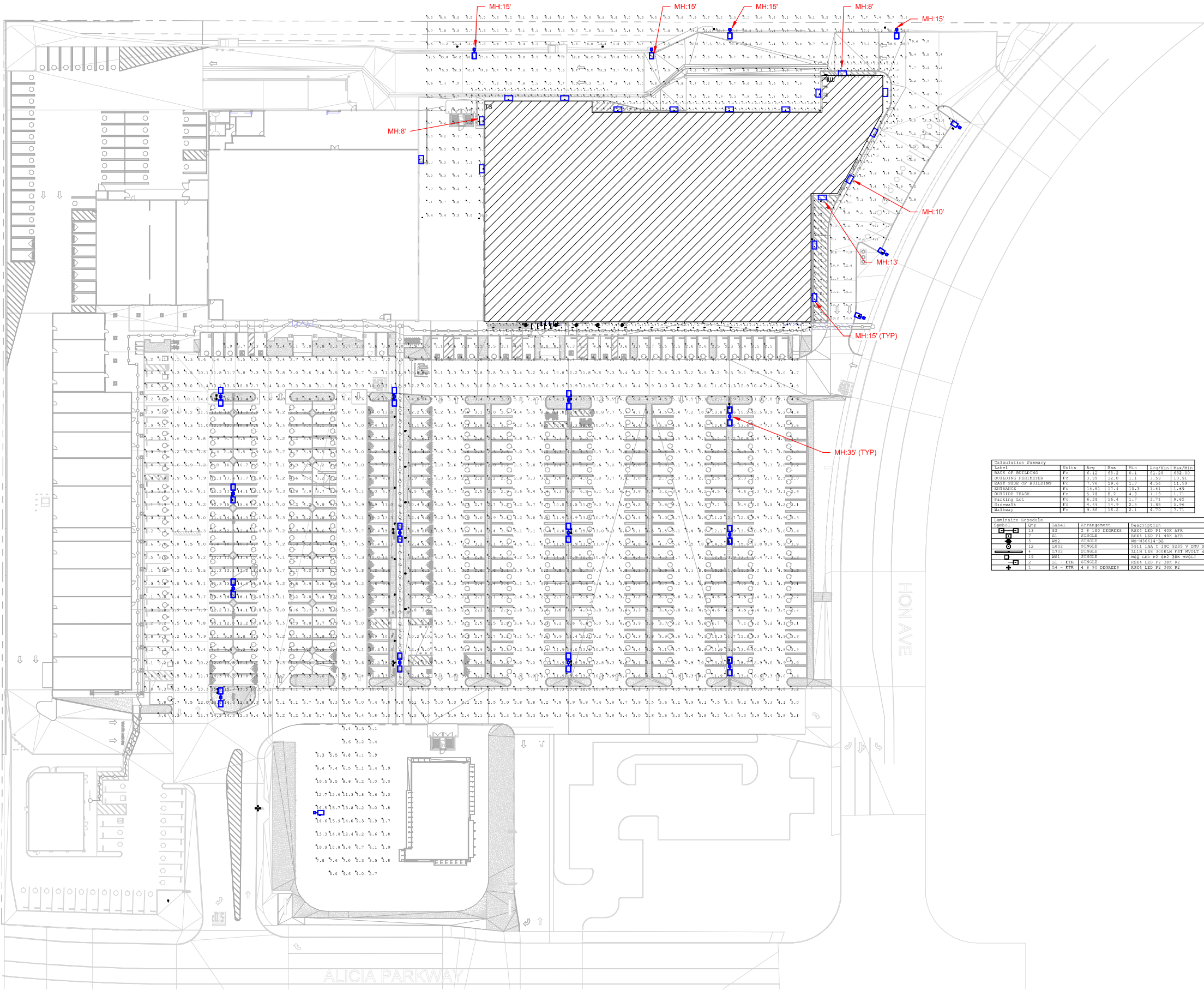
ENTITLEMENT PHASING PLAN

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2020-434
12-21-2022



Calculation Summary						
Label	Units	Ave	Max	Min	Avg/Min	Max/Min
INDEX OF BUILDING	FC	6.52	18.2	1.1	14.29	16.25
BUILDING PERIMETER	FC	3.85	12.0	1.1	3.59	10.91
PAVING SURF	FC	1.76	12.4	1.0	4.58	11.55
DRIVEWAY	FC	14.51	17.4	10.3	1.41	1.49
DRIVEWAY PAV	FC	6.19	8.2	1.4	1.12	1.12
Paving Lot	FC	6.19	12.4	1.0	1.71	9.05
Sidewalk	FC	4.69	14.9	2.5	1.86	5.96
Driveway	FC	9.88	15.2	2.1	6.79	7.21

Symbol	Qty	Label	Arrangement	Description
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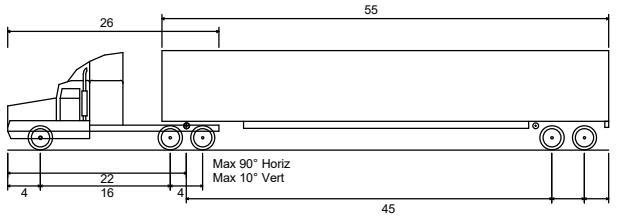
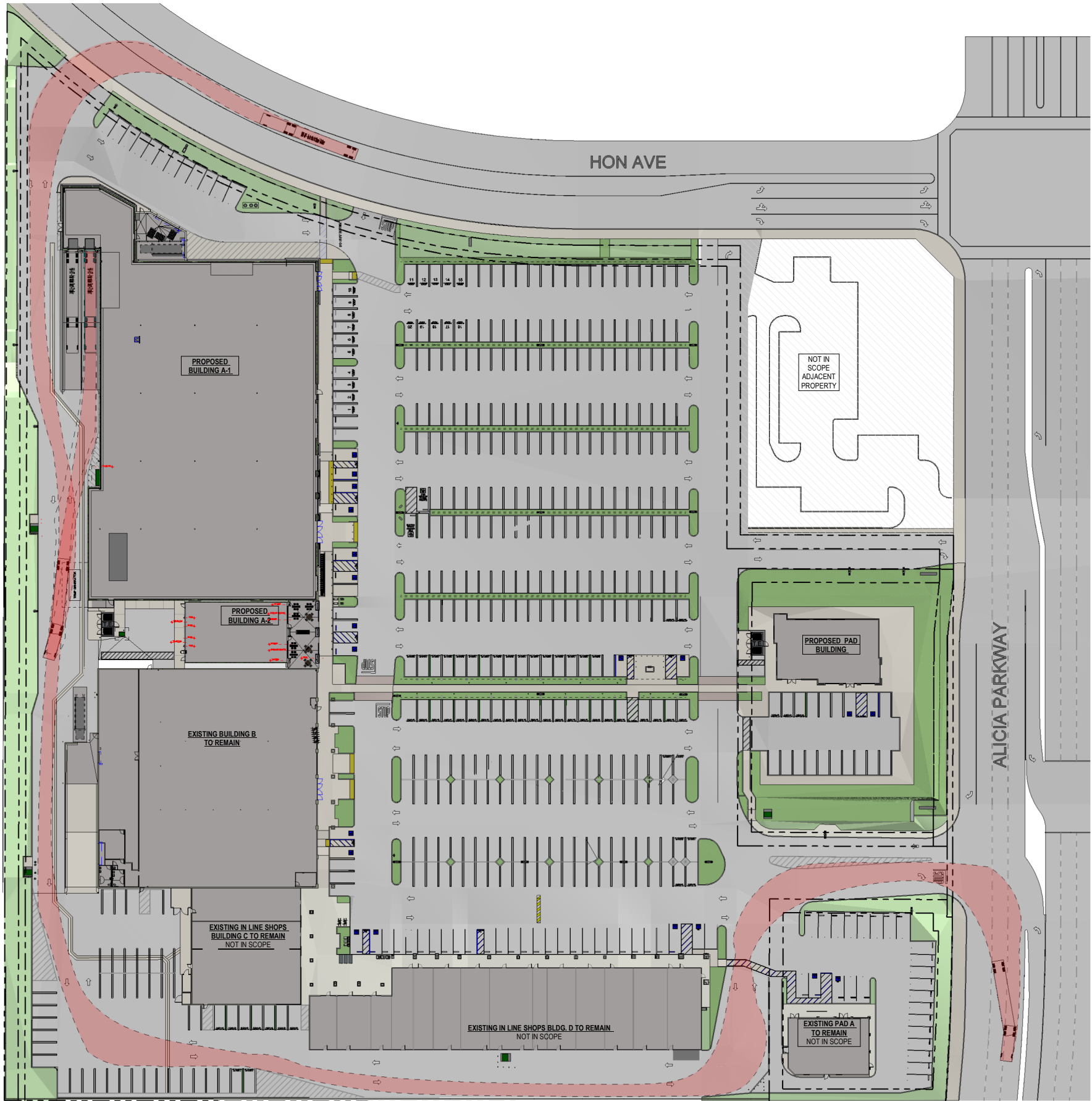
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WB-67 - Interstate Semi-Trailer
Overall Length 74.000 ft
Overall Width 8.500 ft
Overall Body Height 12.227 ft
Min Body Ground Clearance 1.422 ft
Track Width 8.500 ft
Lock-to-lock Time 6.00 seconds
Curb to Curb Turning Radius 45.000 ft



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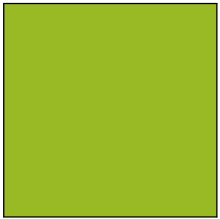
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Job No.
Date

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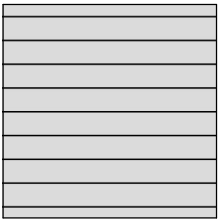
1/32" = 1'-0"
2020-434
12-21-2022



MTL-1
IMETCO LATITUDE ALUMINUM
WALL SYSTEMS BOX RIB B
COLOR CHARCOAL



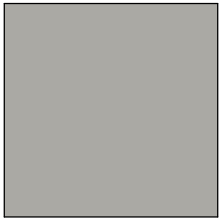
MTL-6
KYNAR FINISH COLOR TO
MATCH SHERWIN WILLIAMS
ELECTRIC LIME GREEN 6921



MTL-11
LONGBOARD 6" V GROVE
PLANKS COLOR: ULTRA WHITE



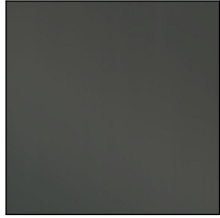
PT-1
PAINT TO MATCH SHERWIN
WILLIAMS SW7069 IRON ORE



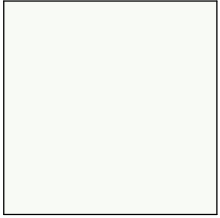
PT-6
PAINT TO MATCH SHERWIN
WILLIAMS SW 7650 ELLIE GRAY



ST-1
BRICK VENEER: BELDEN BRICK
ENGLISH GRAY VELOUR



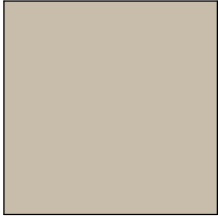
MTL-2
BLACK ANODIZED ALUMINUM



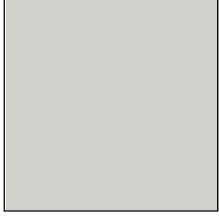
MTL-7
KYNAR FINISH COLOR TO
MATCH BONE WHITE



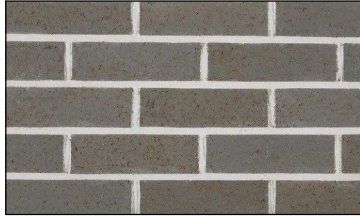
MTL-12
FIRESTONE METAL PANEL -
CFP-16F. COLOR: DARK GRAY



PT-2
PAINT TO MATCH SHERWIN
WILLIAMS SW9173 SHITAKE



PT-7
PAINT TO MATCH SHERWIN
WILLIAMS SW 7653
SILVERPOINTE



ST-2
BRICK VENEER: BELDEN BRICK
TITANIUM VELOUR



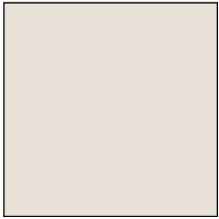
MTL-3
CLEAR ANODIZED ALUMINUM



MTL-8
FACTORY FINISH STAINLESS
STEEL.



MTL-13
FIRESTONE METAL PANEL -
CFP-16F. COLOR: DOVE GRAY



PT-3
PAINT TO MATCH SHERWIN
WILLIAMS SW7627 WHITE HERON



ST-3
STONE VENEER: CORONADO STONE -
GETTY STONE EMBASSY BLEND



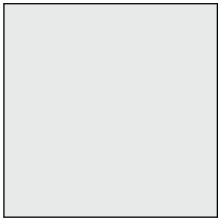
MTL-4
COLOR TO MATCH FIRESTONE
UNA-CLAB METAL MATTE BLACK



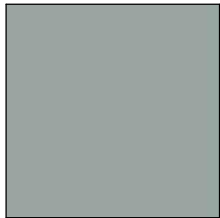
MTL-9
FACTORY FINISH BLACK



CMU-1
INTEGRAL COLOR
BURNISHED CMU BY
OLDCASTLE FINISH 4303



PT-4
PAINT TO MATCH SHERWIN
WILLIAMS SW6995
SUPERWHITE



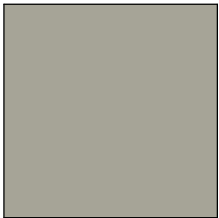
MTL-5
COLOR TO MATCH FIRESTONE
UNA-CLAB METAL CITYSCAPE



MTL-10
KYNAR FINISH COLOR TO
MATCH SHERWIN WILLIAMS
SW7069 IRON ORE



CMU-2
INTEGRAL COLOR
PRECISION CMU BY
OLDCASTLE



PT-5
PAINT TO MATCH SHERWIN
WILLIAM SW2821 DOWNING
STONE





A1 PROPOSED BUILDING A
Scale: N.T.S.



A1 EXISTING BUILDING A
Scale: N.T.S.



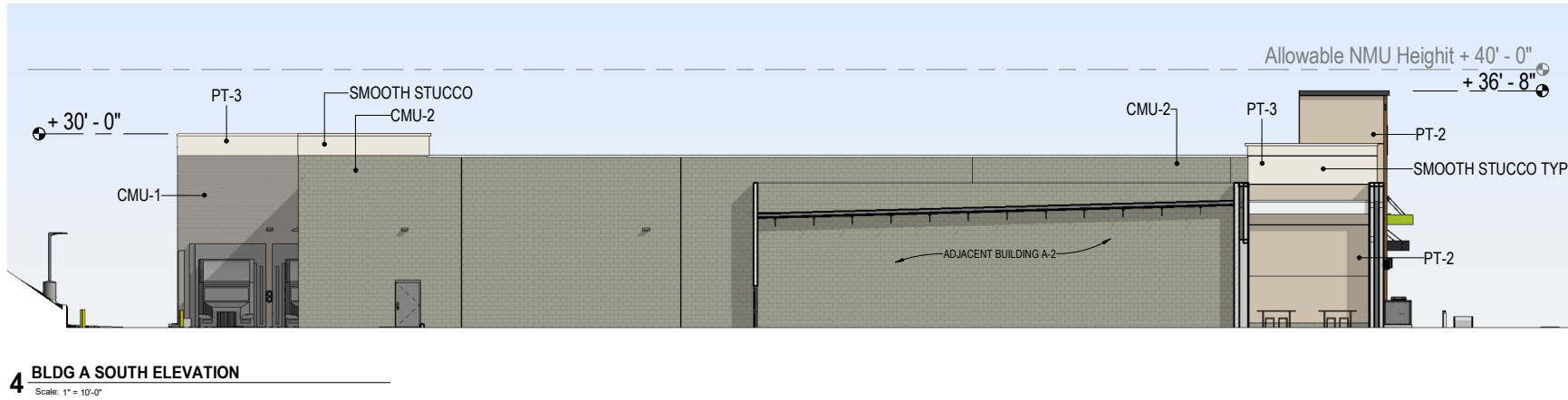
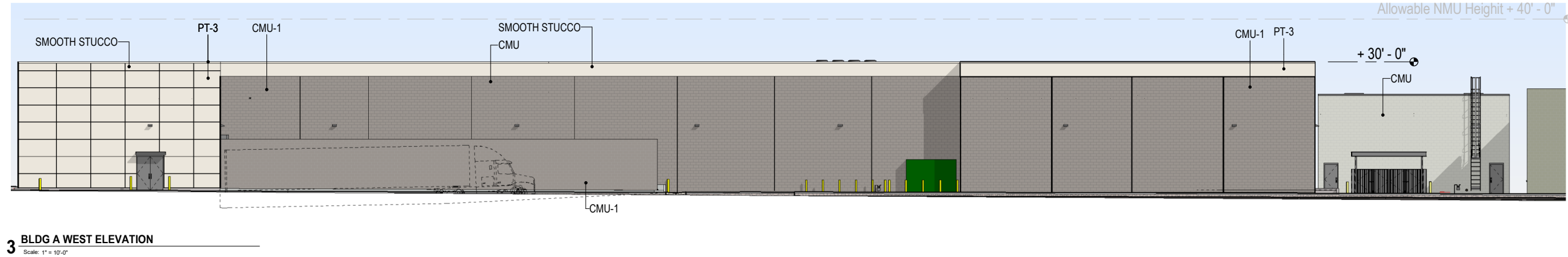
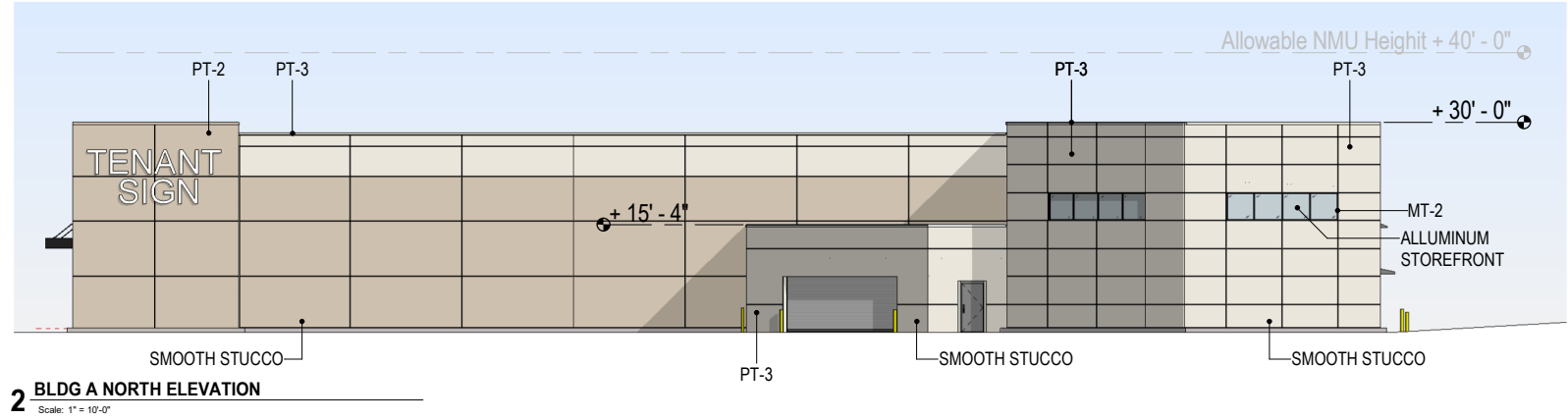
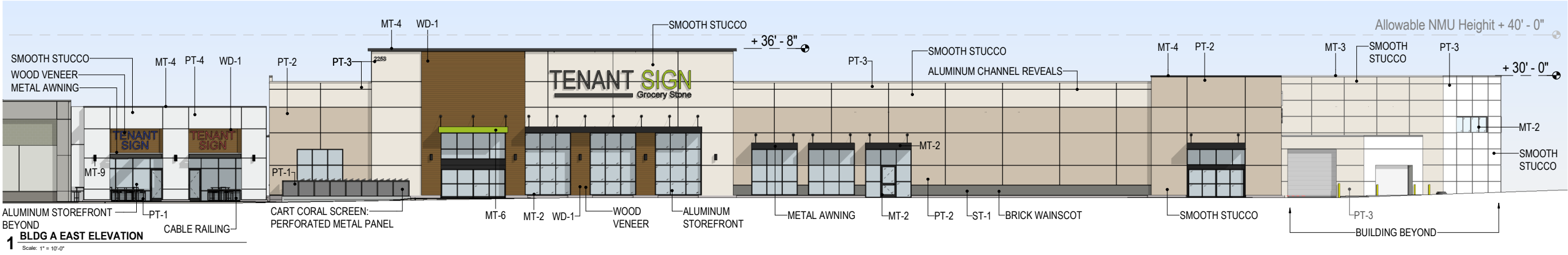
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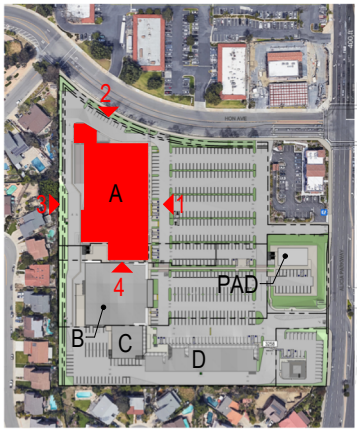
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- MASONRY
CMU-1 INTEGRAL COLOR BURNISHED CMU BY OLDCASTLE FINISH 4303
CMU-2 INTEGRAL COLOR PRECISION CMU SMOOTH FINISH NATURAL GRAY
ST-1 BRICK VENEER: BELDEN BRICK ENGLISH GRAY VELOUR
ST-2 BRICK VENEER: BELDEN BRICK TITANIUM VELOUR
ST-3 STONE VENEER: CORONADO STONE - GETTY STONE EMBASSY BLEND
- METAL
MT-1 IMETCO LATITUDE WALL SYSTEMS BOX RIB B, PRECOATED ALUMINUM PANELS SMOOTH FINISH COLOR: CHARCOAL. ORIENTATION: HORIZONTAL
MT-2 BLACK ANODIZED ALUMINUM
MT-3 CLEAR ANODIZED ALUMINUM
MT-4 COLOR TO MATCH FIRESTONE UNA-CLAB METAL MATTE BLACK
MT-5 COLOR TO MATCH FIRESTONE UNA-CLAB CITYSCAPE
MT-6 SMOOTH KYNAR FINISH COLOR TO MATCH SHERWIN WILLIAMS ELECTRIC LIME GREEN 6921
MT-7 COLOR TO MATCH FIRESTONE UNA-CLAB METAL BONE WHITE
MT-8 FACTORY FINISH STAINLESS STEEL
MT-9 FACTORY FINISH BLACK
MT-10 SMOOTH KYNAR FINISH COLOR TO MATCH SHERWIN WILLIAMS BLACK
MT-11 LONGBOARD 6" V GROVE PLANKS COLOR: ULTRA WHITE
MT-12 FIRESTONE METAL PANEL - CFP-16F. COLOR: BLUE
WD-1 LONGBOARD 6" CHANNEL GROVE PLANKS WITH LIGHT NATIONAL WALNUT (LW) FINISH
- PAINT
PT-1 EPOXY PRIME & PAINT TO MATCH SHERWIN WILLIAMS SW7069 IRON ORE
PT-2 PAINT TO MATCH SHERWIN WILLIAMS SW9173 SHITAKE
PT-3 PAINT TO MATCH SHERWIN WILLIAMS SW7627 WHITE HERON
PT-4 EPOXY PRIME & PAINT TO MATCH SHERWIN WILLIAMS SW6995 SUPERWHITE
PT-5 EPOXY PRIME & PAINT TO MATCH SHERWIN WILLIAMS SW2821 DOWNING STONE
PT-6 EPOXY PRIME & PAINT TO MATCH SHERWIN WILLIAMS SW 7650 ELLIE GRAY
PT-7 PAINT TO MATCH SHERWIN WILLIAMS SW 7653 SILVERPOINTE



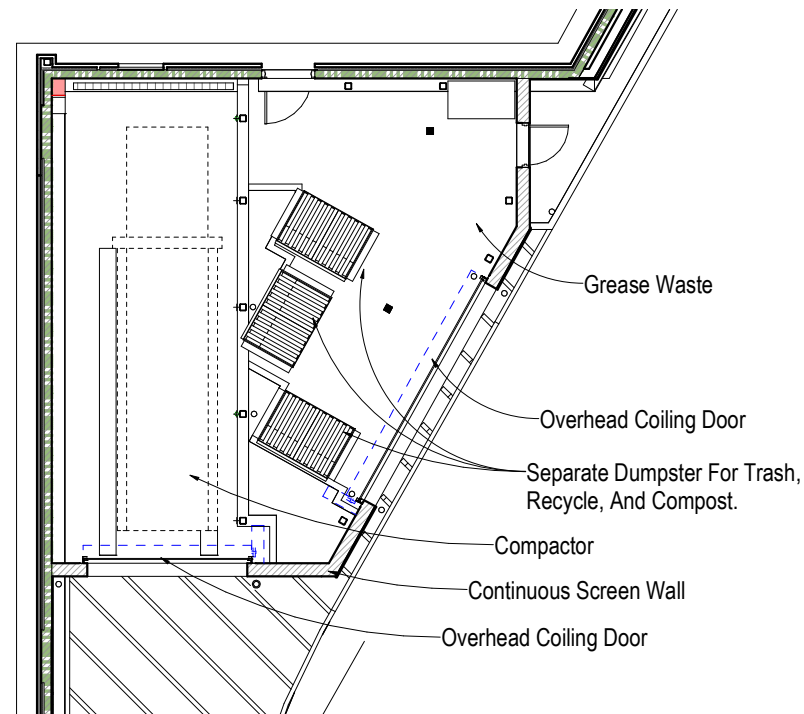
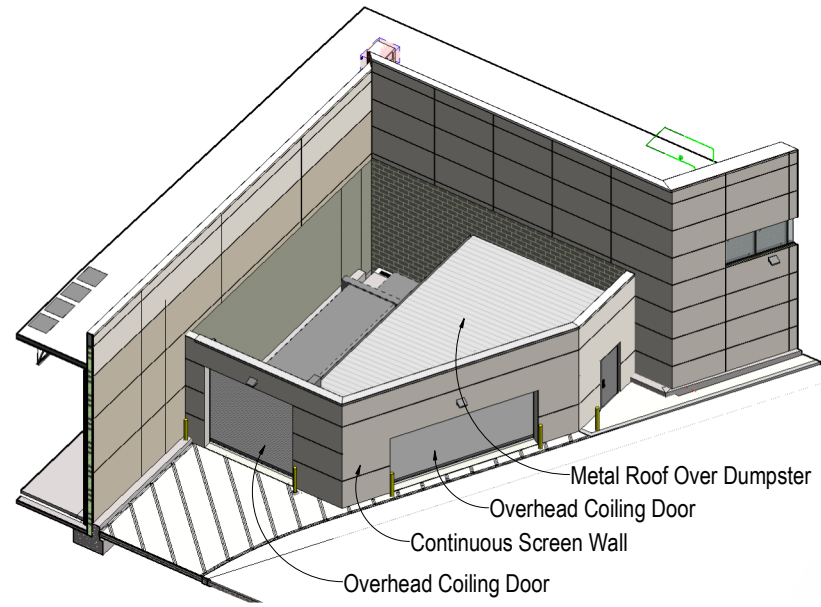
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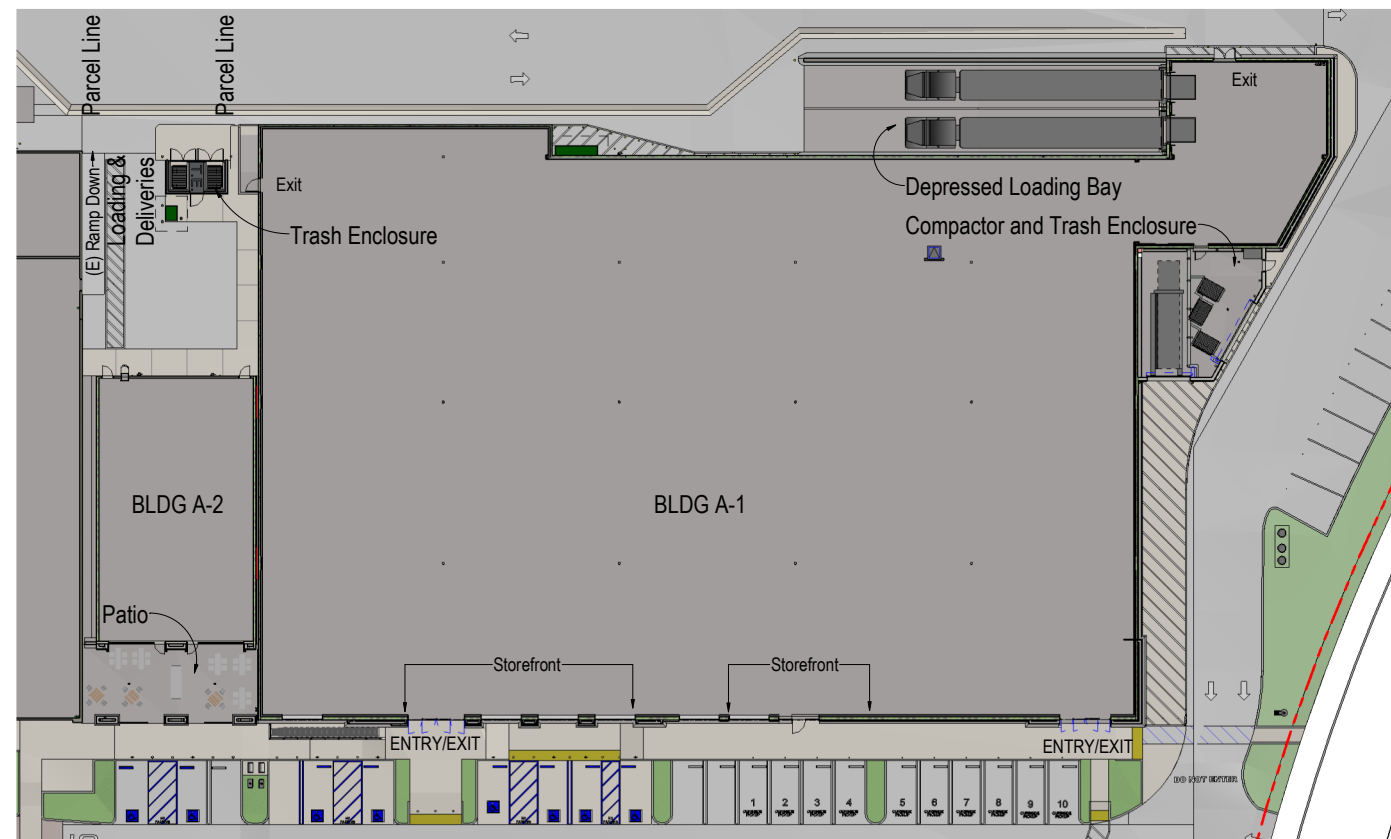
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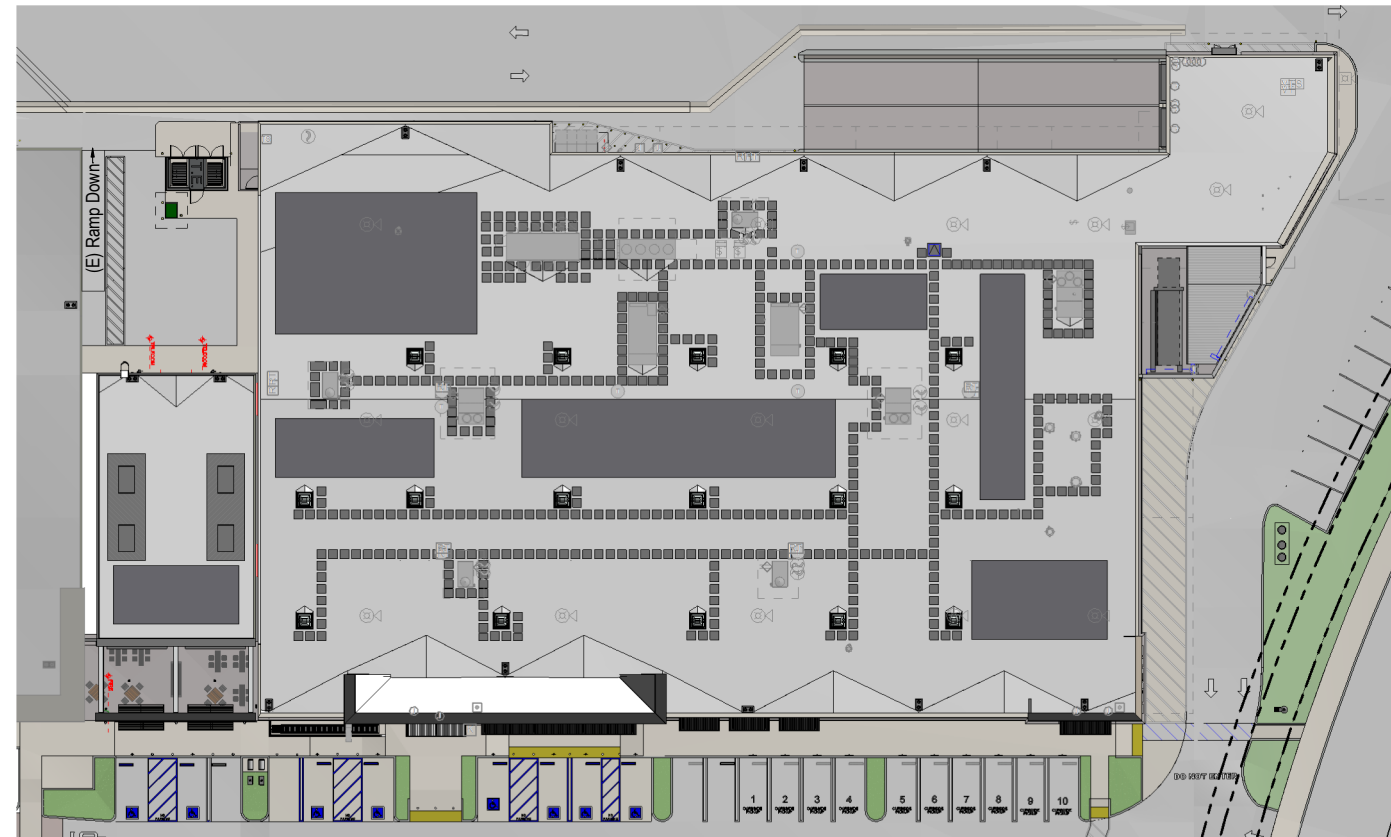
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1" = 10'-0"
2020-434
12-21-2022



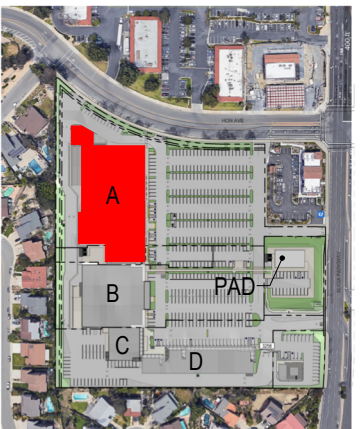
3 COMPACTOR BAY
Scale: 3/16" = 1'-0"



1 BLDG A FLOOR PLAN
Scale: 1" = 20'-0"



2 BLDG A ROOF PLAN
Scale: 1" = 20'-0"



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Job No.
Date

11

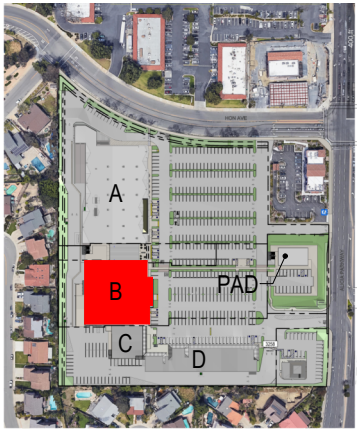
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B1 Bldg B Perspective
Scale: N.T.S.



B1 Bldg B Existing
Scale: N.T.S.



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BUILDING B PERSPECTIVE

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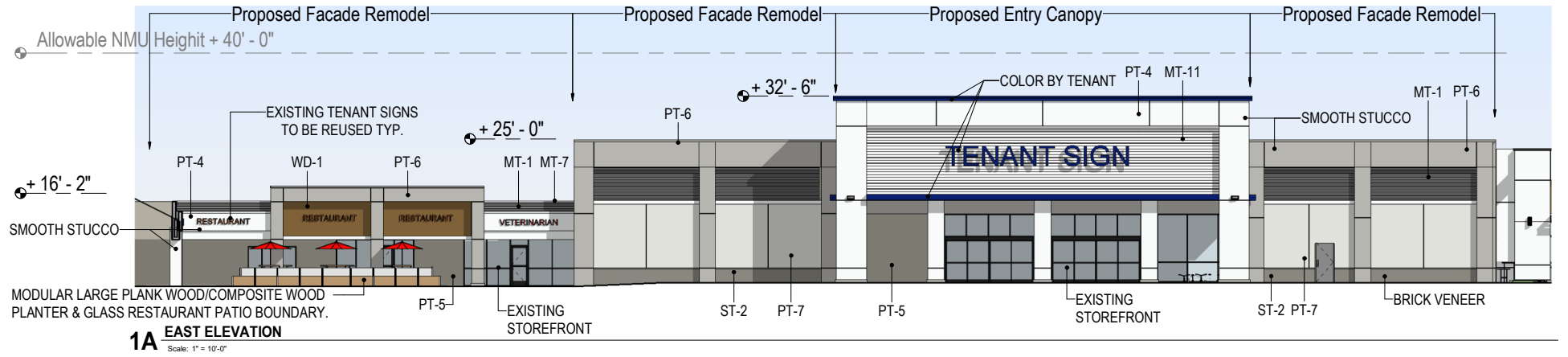
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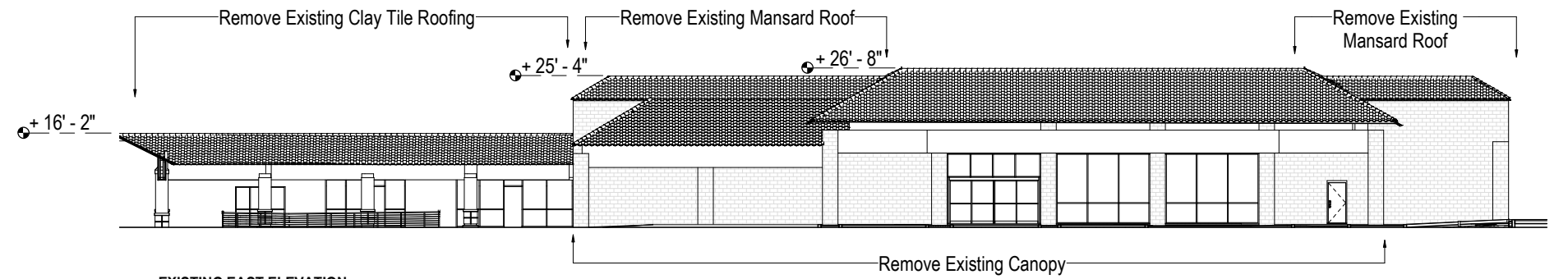
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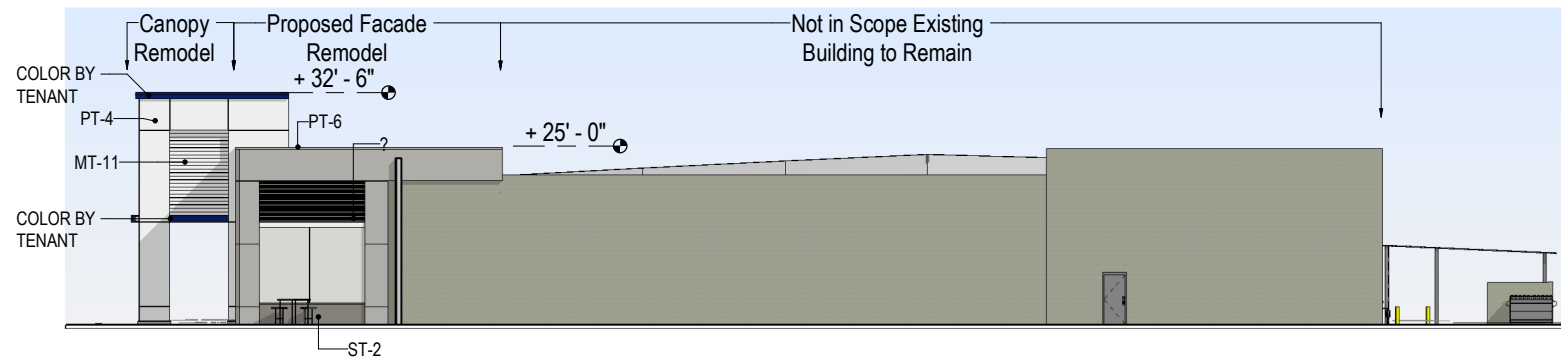
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Scale: 1/2" = 1'-0"



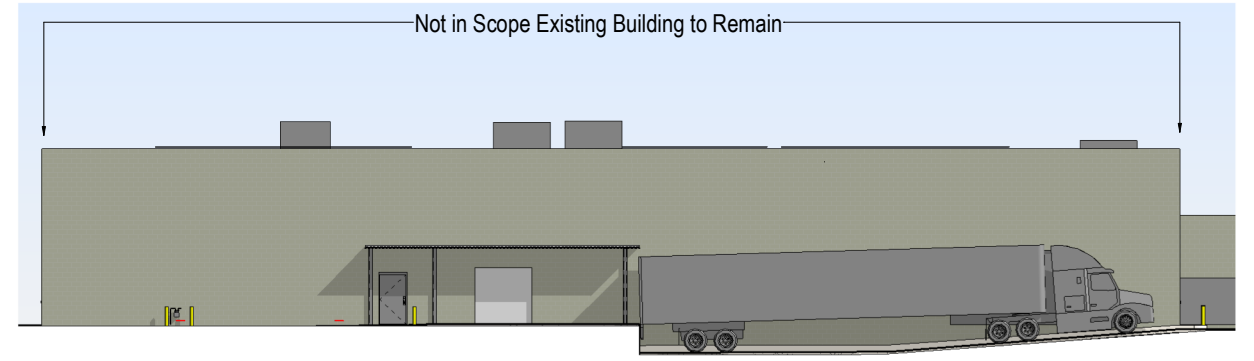
1A EAST ELEVATION
Scale: 1" = 10'-0"



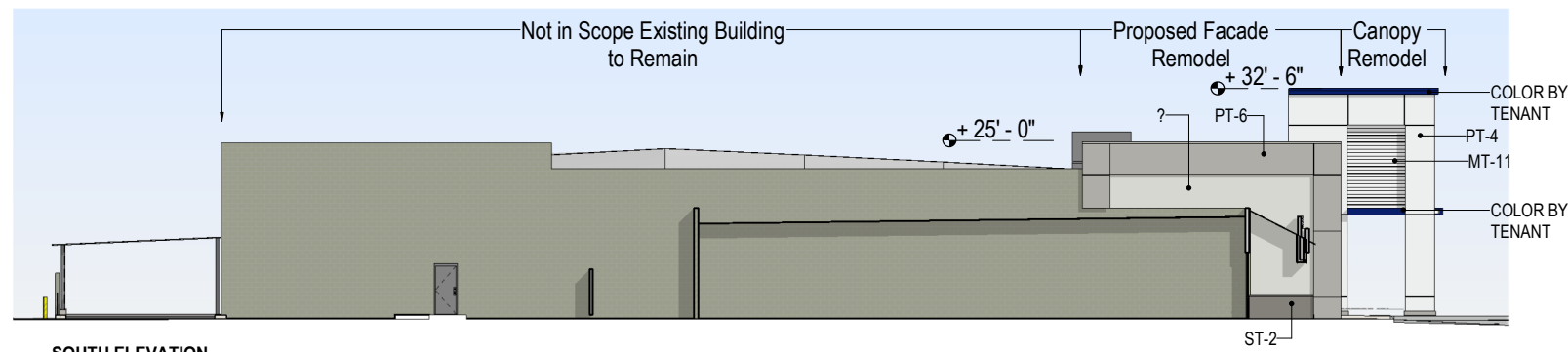
1B EXISTING EAST ELEVATION
Scale: 1" = 10'-0"



2 NORTH ELEVATION
Scale: 1" = 10'-0"

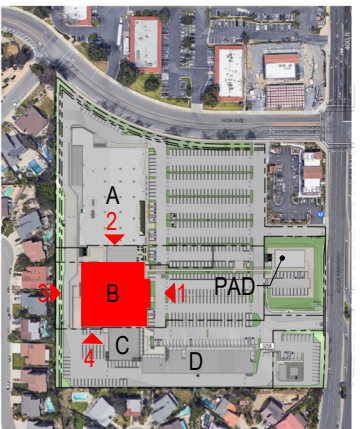


3 WEST ELEVATION
Scale: 1" = 10'-0"



4 SOUTH ELEVATION
Scale: 1" = 10'-0"

- MASONRY**
CMU-1 INTEGRAL COLOR BURNISHED CMU BY OLDCASTLE FINISH 4303
CMU-2 INTEGRAL COLOR PRECISION CMU SMOOTH FINISH NATURAL GRAY
ST-1 BRICK VENEER: BELDEN BRICK ENGLISH GRAY VELOUR
ST-2 BRICK VENEER: BELDEN BRICK TITANIUM VELOUR
ST-3 STONE VENEER: CORONADO STONE - GETTY STONE EMBASSY BLEND
- METAL**
MT-1 IMETCO LATITUDE WALL SYSTEMS BOX RIB B, PRECOATED ALUMINUM PANELS SMOOTH FINISH COLOR: CHARCOAL ORIENTATION: HORIZONTAL
MT-2 BLACK ANODIZED ALUMINUM
MT-3 CLEAR ANODIZED ALUMINUM
MT-4 COLOR TO MATCH FIRESTONE UNA-CLAB METAL MATTE BLACK
MT-5 COLOR TO MATCH FIRESTONE UNA-CLAB CITYSCAPE
MT-6 SMOOTH KYNAR FINISH COLOR TO MATCH SHERWIN WILLIAMS ELECTRIC LIME GREEN 6921
MT-7 COLOR TO MATCH FIRESTONE UNA-CLAB METAL BONE WHITE
MT-8 FACTORY FINISH STAINLESS STEEL
MT-9 FACTORY FINISH BLACK
MT-10 SMOOTH KYNAR FINISH COLOR TO MATCH SHERWIN WILLIAMS BLACK
MT-11 LONGBOARD 6" V GROVE PLANKS COLOR: ULTRA WHITE
MT-12 FIRESTONE METAL PANEL - CFP-16F. COLOR: BLUE
WD-1 LONGBOARD 6" CHANNEL GROVE PLANKS WITH LIGHT NATIONAL WALNUT (LNW) FINISH
- PAINT**
PT-1 EPOXY PRIME & PAINT TO MATCH SHERWIN WILLIAMS SW7069 IRON ORE
PT-2 PAINT TO MATCH SHERWIN WILLIAMS SW9173 SHITAKE
PT-3 PAINT TO MATCH SHERWIN WILLIAMS SW7627 WHITE HERON
PT-4 EPOXY PRIME & PAINT TO MATCH SHERWIN WILLIAMS SW6995 SUPERWHITE
PT-5 EPOXY PRIME & PAINT TO MATCH SHERWIN WILLIAM SW2821 DOWNING STONE
PT-6 EPOXY PRIME & PAINT TO MATCH SHERWIN WILLIAMS SW 7650 ELLIE GRAY
PT-7 PAINT TO MATCH SHERWIN WILLIAMS SW 7653 SILVERPOINTE



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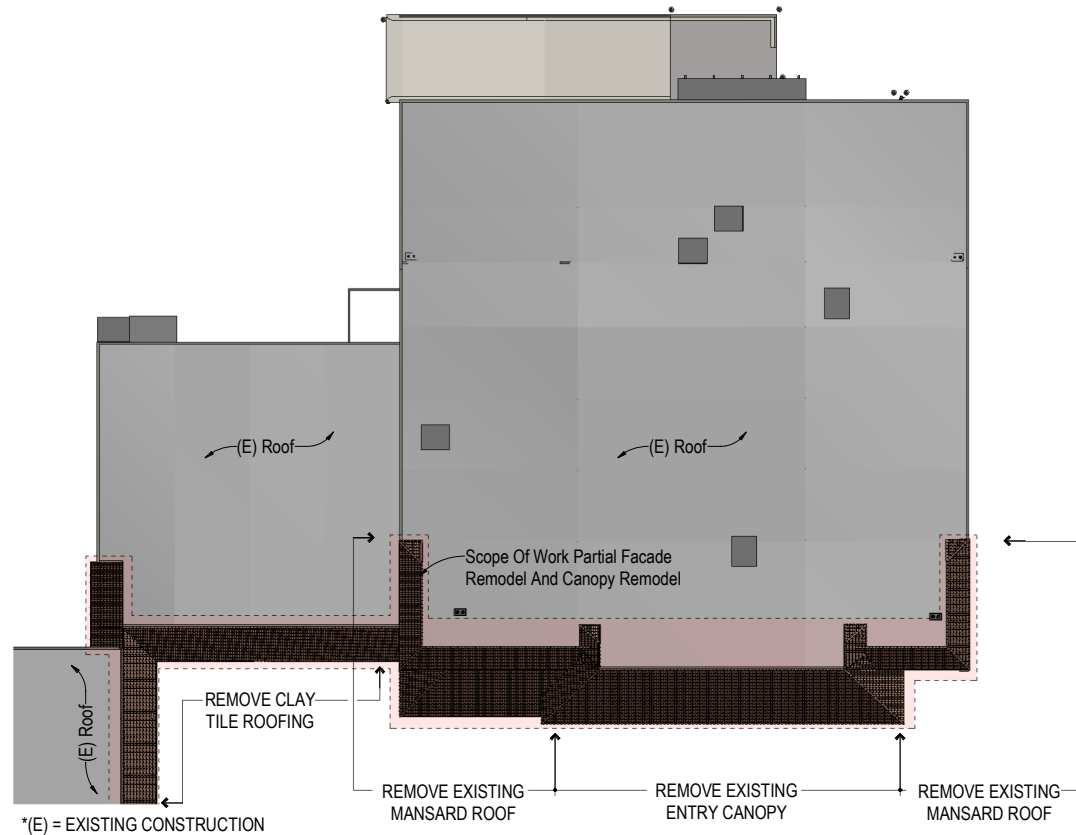
**ENTITLEMENT
BUILDING B ELEVATIONS**

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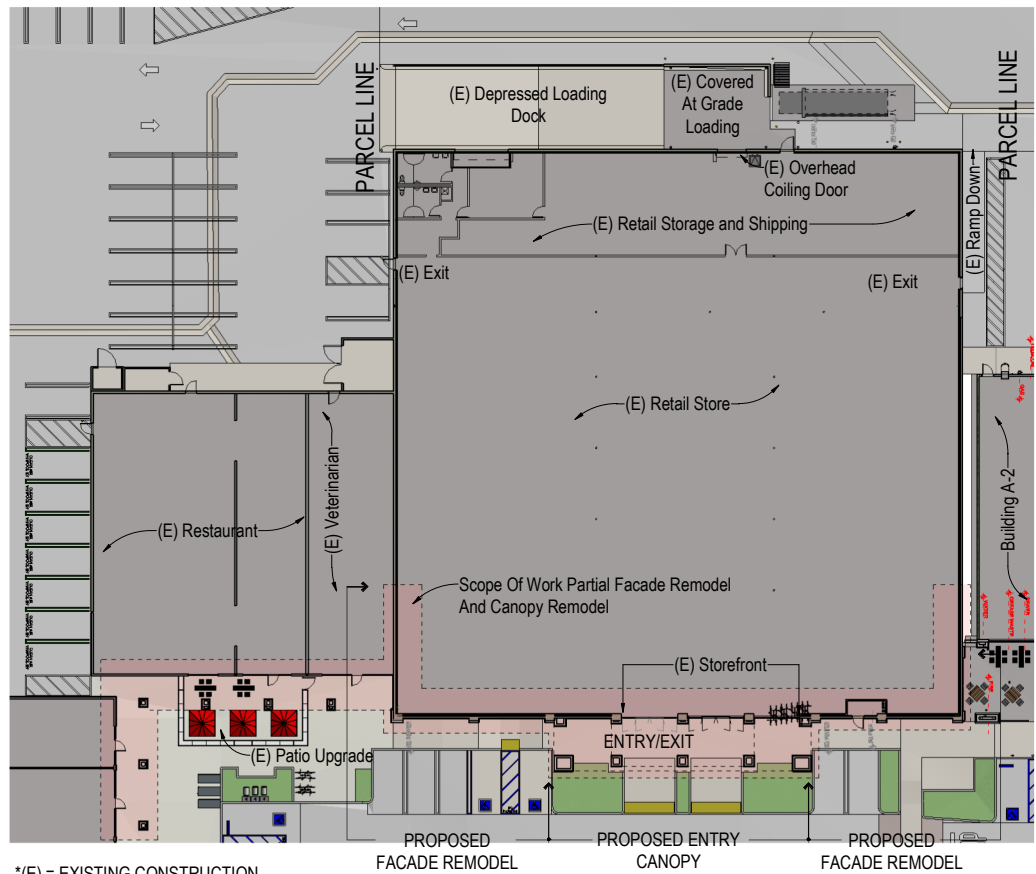
13
Scale
Job No.
Date
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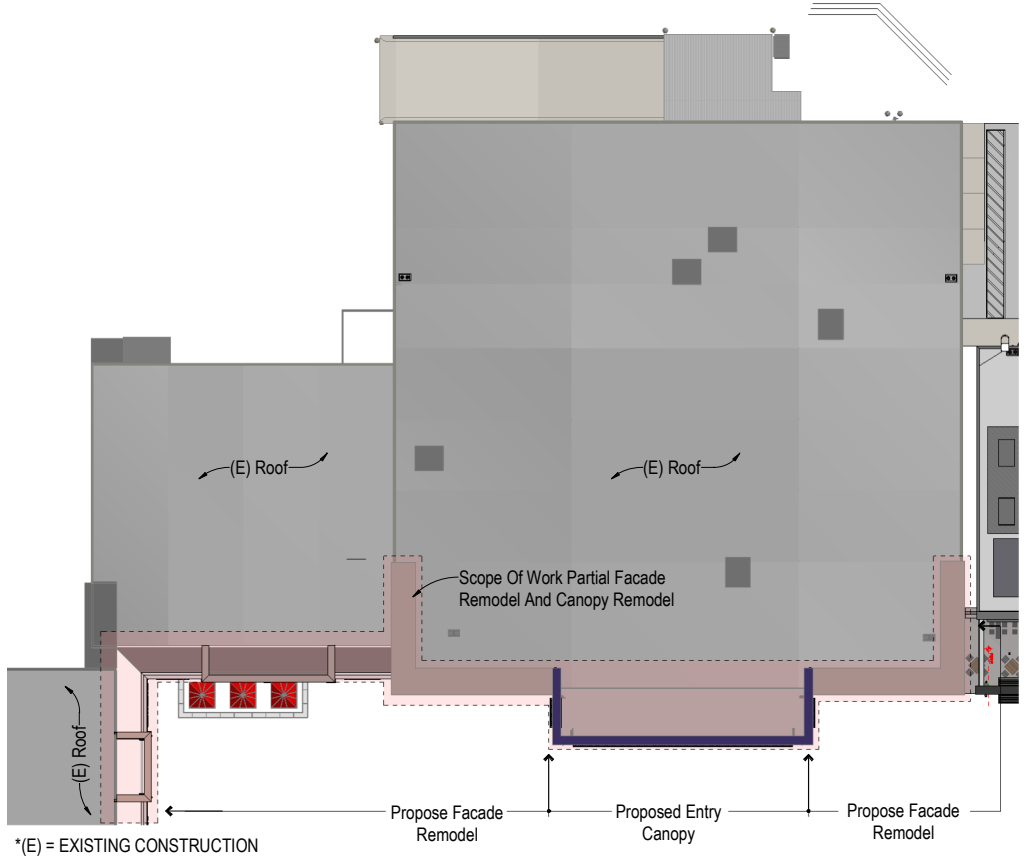
3 PATIO UPGRADE CONCEPT IMAGE
Scale: 1/2" = 1'-0"



2A EXISTING ROOF PLAN
Scale: 1" = 20'-0"



1 Floor Plan Bldg B and C
Scale: 1" = 20'-0"



2B PROPOSE ROOF PLAN
Scale: 1" = 20'-0"



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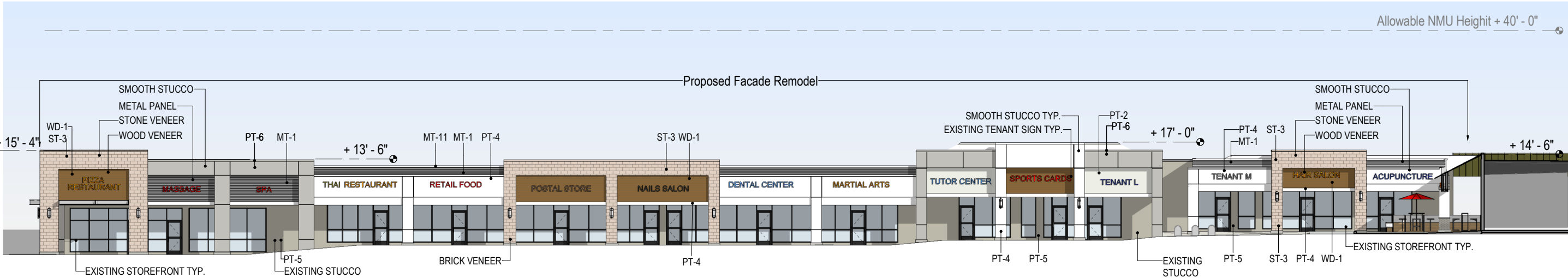
14
As indicated
2020-434
12-21-2022



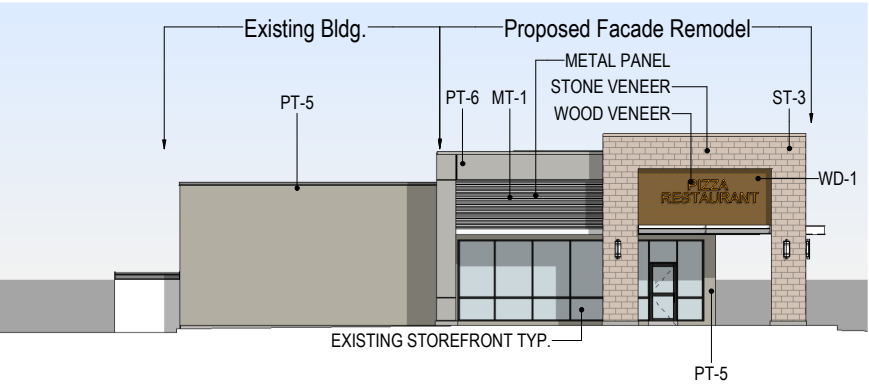
D1 EXISTING SHOPS
Scale: N.T.S.



D1 EXSITING SHOPS UPGRADE
Scale: N.T.S.



D2 BUILDING D NORTH ELEVATION
Scale: 1/8" = 1'-0"



D3 BUILDING D EAST ELEVATION
Scale: 1/8" = 1'-0"

- MASONRY
- CMU-1 INTEGRAL COLOR BURNISHED CMU BY OLDCASTLE FINISH 4303
 - CMU-2 INTEGRAL COLOR PRECISION CMU SMOOTH FINISH NATURAL GRAY
 - ST-1 BRICK VENEER: BELDEN BRICK ENGLISH GRAY VELOUR
 - ST-2 BRICK VENEER: BELDEN BRICK TITANIUM VELOUR
 - ST-3 STONE VENEER: CORONADO STONE - GETTY STONE EMBASSY BLEND
- METAL
- MT-1 IMETCO LATITUDE WALL SYSTEMS BOX RIB B, PRECOATED ALUMINUM PANELS SMOOTH FINISH COLOR: CHARCOAL ORIENTATION: HORIZONTAL
 - MT-2 BLACK ANODIZED ALUMINUM
 - MT-3 CLEAR ANODIZED ALUMINUM
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- PT-1 EPOXY PRIME & PAINT TO MATCH SHERWIN WILLIAMS SW7069 IRON ORE
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 - PT-6 EPOXY PRIME & PAINT TO MATCH SHERWIN WILLIAMS SW 7650 ELLIE GRAY
 - PT-7 PAINT TO MATCH SHERWIN WILLIAMS SW 7653 SILVERPOINTE



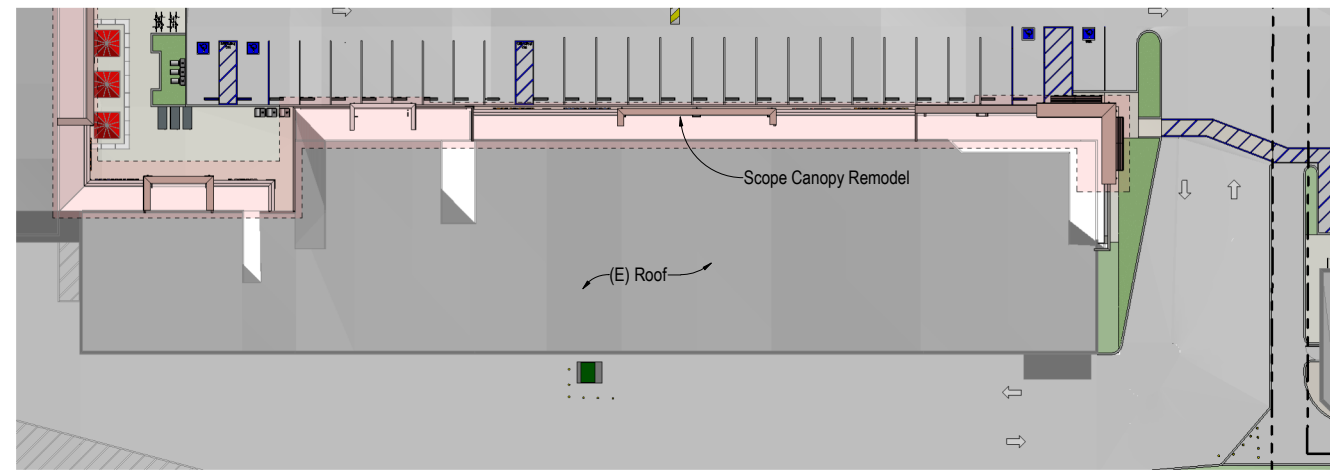
LAGUNA HILLS PLAZA
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ENTITLEMENT
BUILDING D PERSPECTIVE

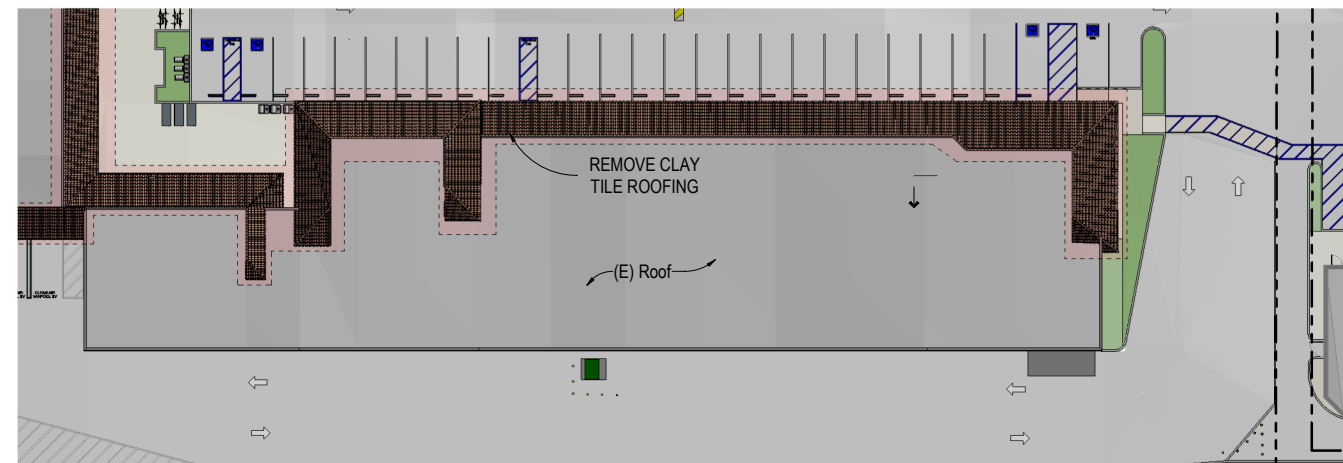
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Date

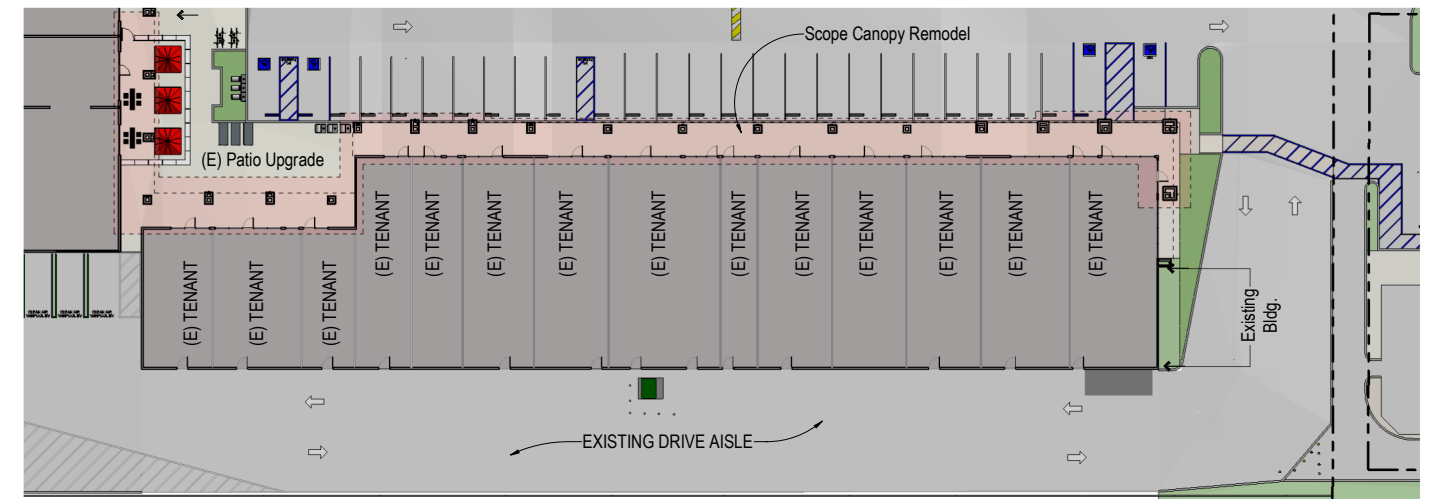
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D2 PROPOSED ROOF
Scale: 1" = 20'-0"

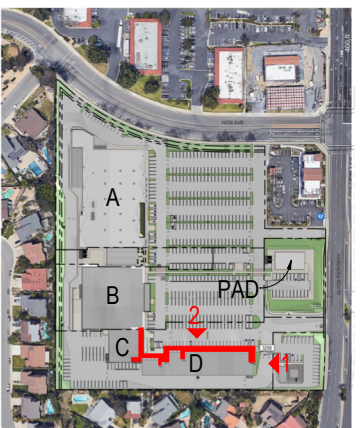


D2 EXSITING ROOF
Scale: 1" = 20'-0"



*(E) = EXISTING CONSTRUCTION

D1 BUILDING D FLOOR PLAN
Scale: 1" = 20'-0"



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**ENTITLEMENT
BUILDING D PLANS**

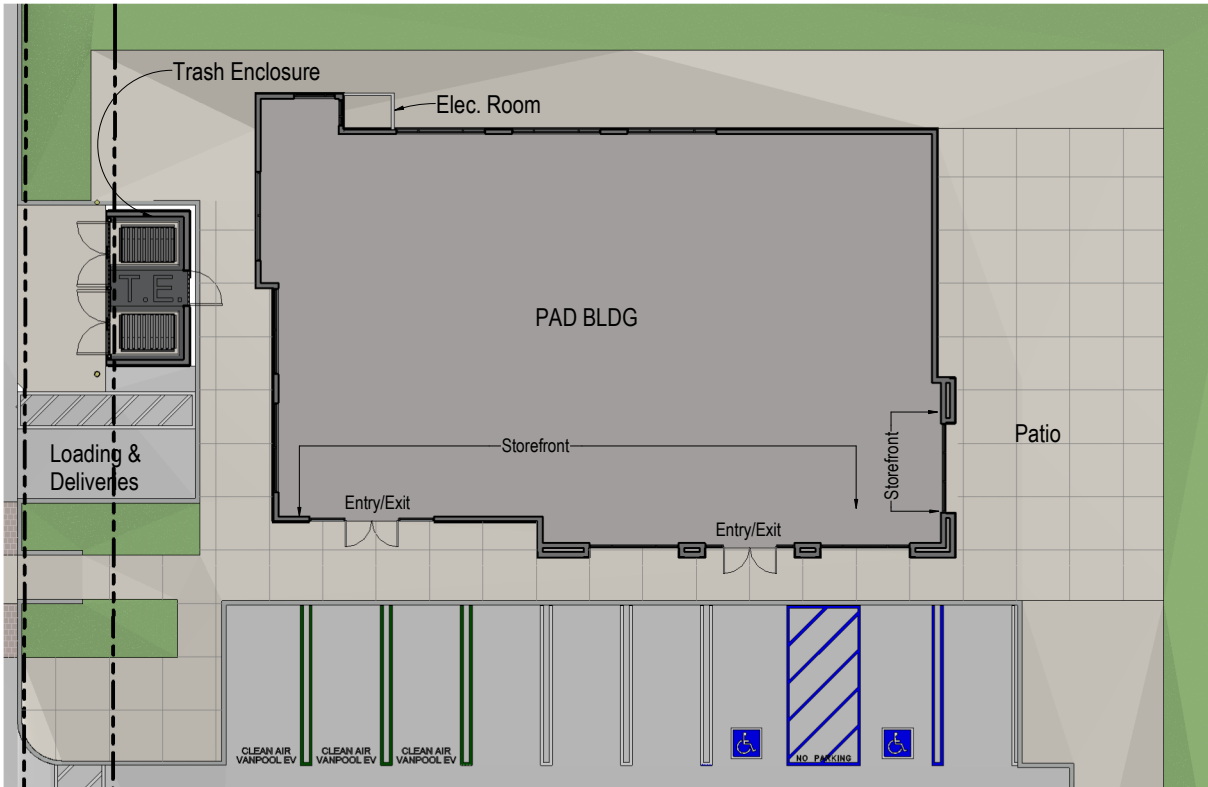
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16
1" = 20'-0"
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1 PROPOSED BUILDING A
Scale: N.T.S.



2 Floor Plan Pad
Scale: 1/8" = 1'-0"

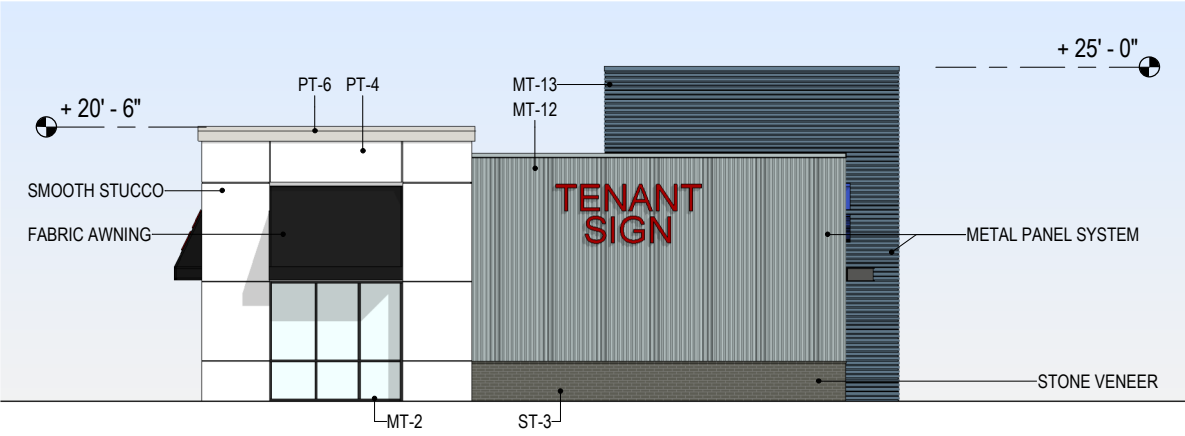


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ENTITLEMENT
PAD BUILDING PERSPECTIVE

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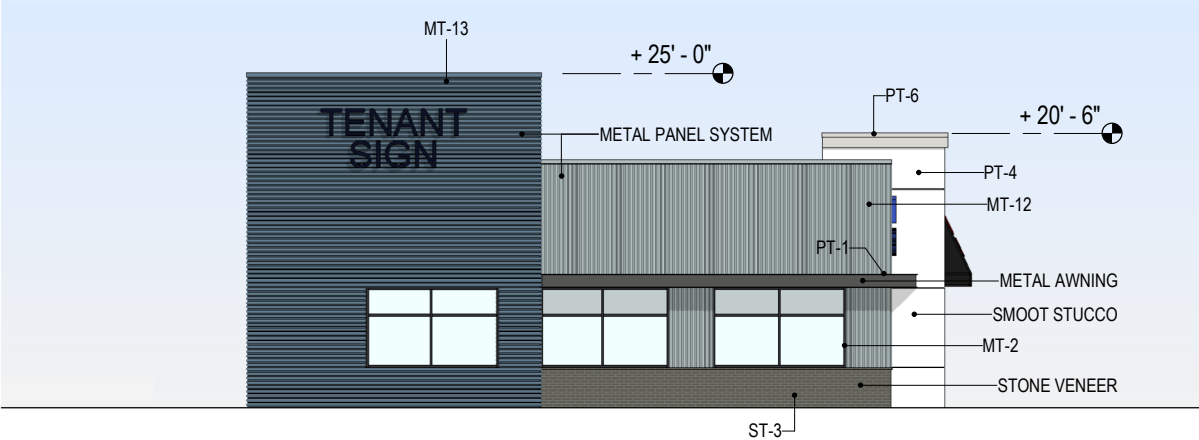
Scale
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Date
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P1 PAD EAST ELEVATION
Scale: 3/16" = 1'-0"



P3 PAD SOUTH ELEVATION
Scale: 3/16" = 1'-0"



P2 PAD WEST ELEVATION
Scale: 3/16" = 1'-0"



P4 PAD NORTH ELEVATION
Scale: 3/16" = 1'-0"

MASONRY
CMU-1 INTEGRAL COLOR BURNISHED CMU BY OLDCASTLE FINISH 4303
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PT-7 PAINT TO MATCH SHERWIN WILLIAMS SW 7653 SILVERPOINTE



LAGUNA HILLS PLAZA

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ENTITLEMENT PAD BUILDING ELEVATIONS

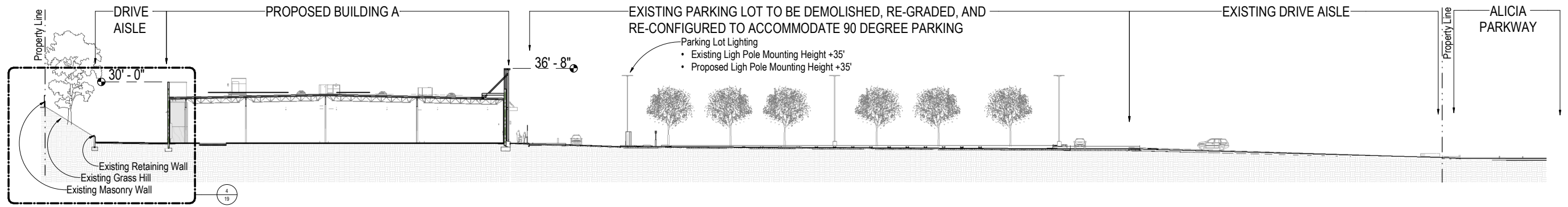


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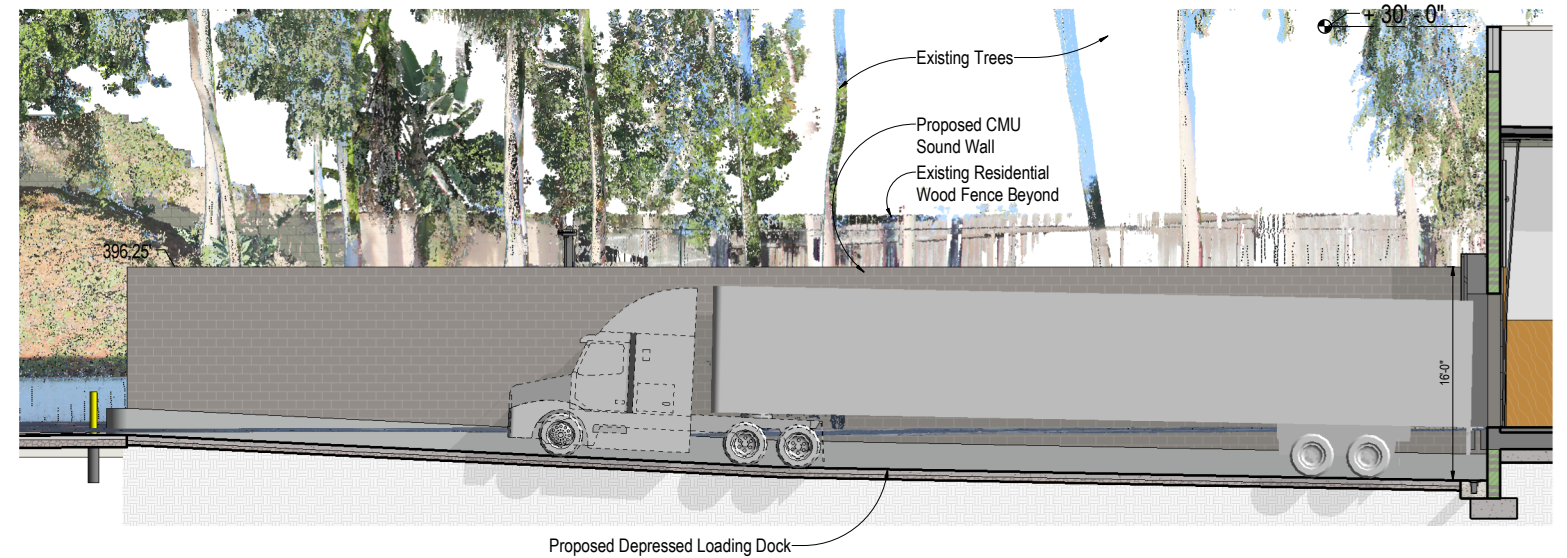
Scale
Job No.
Date

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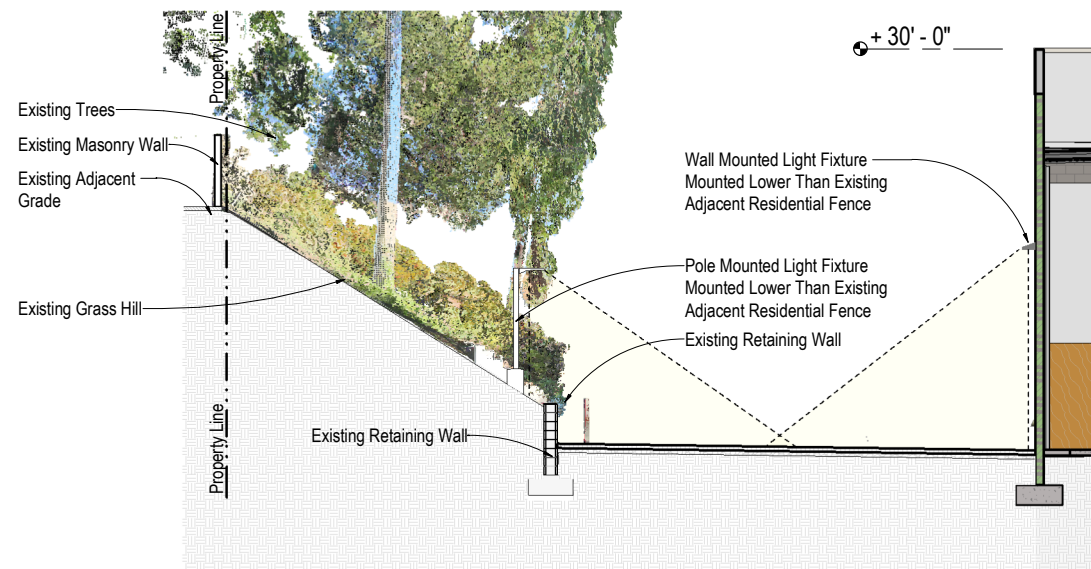
3/16" = 1'-0"
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12-21-2022



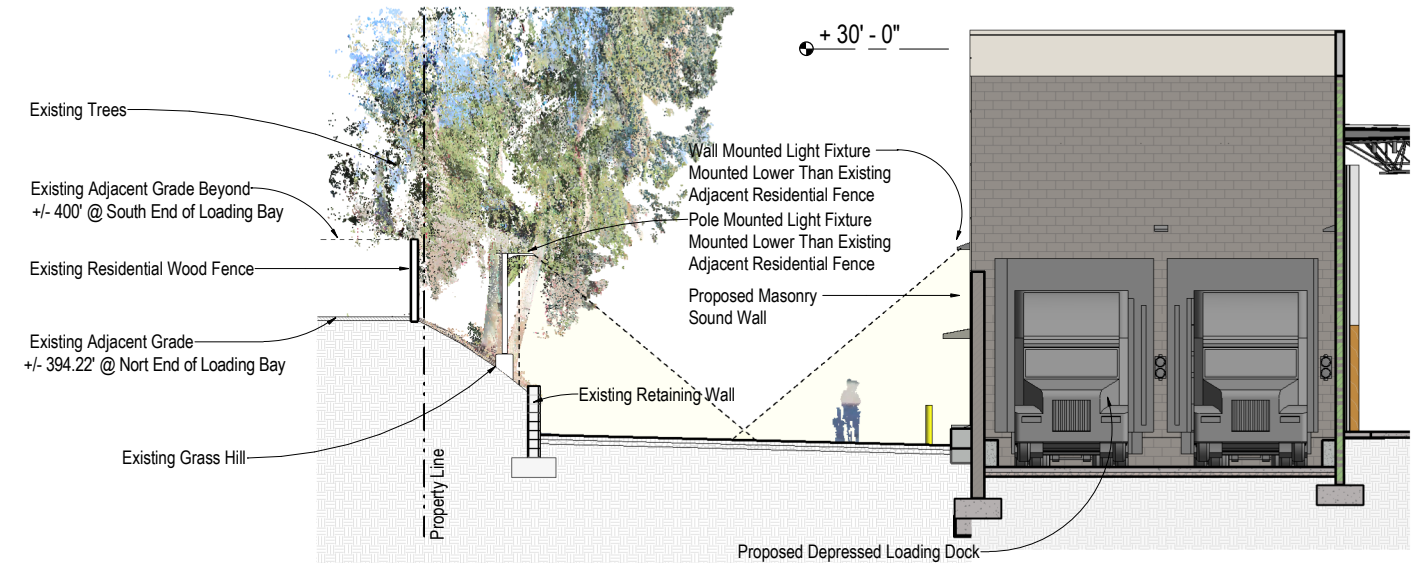
1 Bldg A1 Depressed Loading Dock
Scale: 1" = 20'-0"



2 Bldg A1 Depressed Loading Dock
Scale: 3/16" = 1'-0"



4 Bldg A1 BACK OF HOUSE
Scale: 3/16" = 1'-0"



3 Bldg A1 Depressed Loading Dock
Scale: 3/16" = 1'-0"



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R3 VIEW FROM ADJACENT RESIDENTIAL 3
Scale: 1/2" = 1'-0"



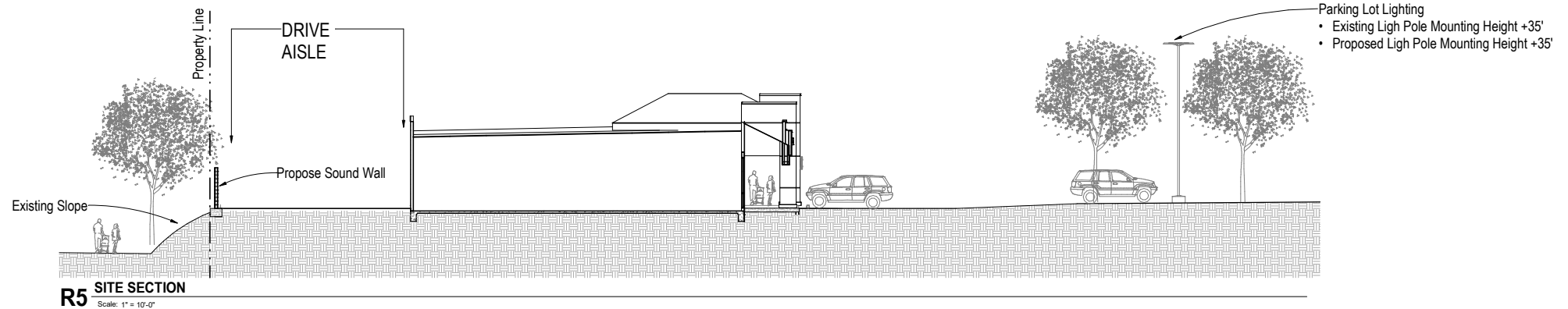
R1 VIEW FROM ADJACENT RESIDENTIAL 1
Scale: 1/2" = 1'-0"



R4 VIEW FROM ADJACENT RESIDENTIAL 4
Scale: 1/2" = 1'-0"



R2 VIEW FROM ADJACENT RESIDENTIAL 2
Scale: 1/2" = 1'-0"



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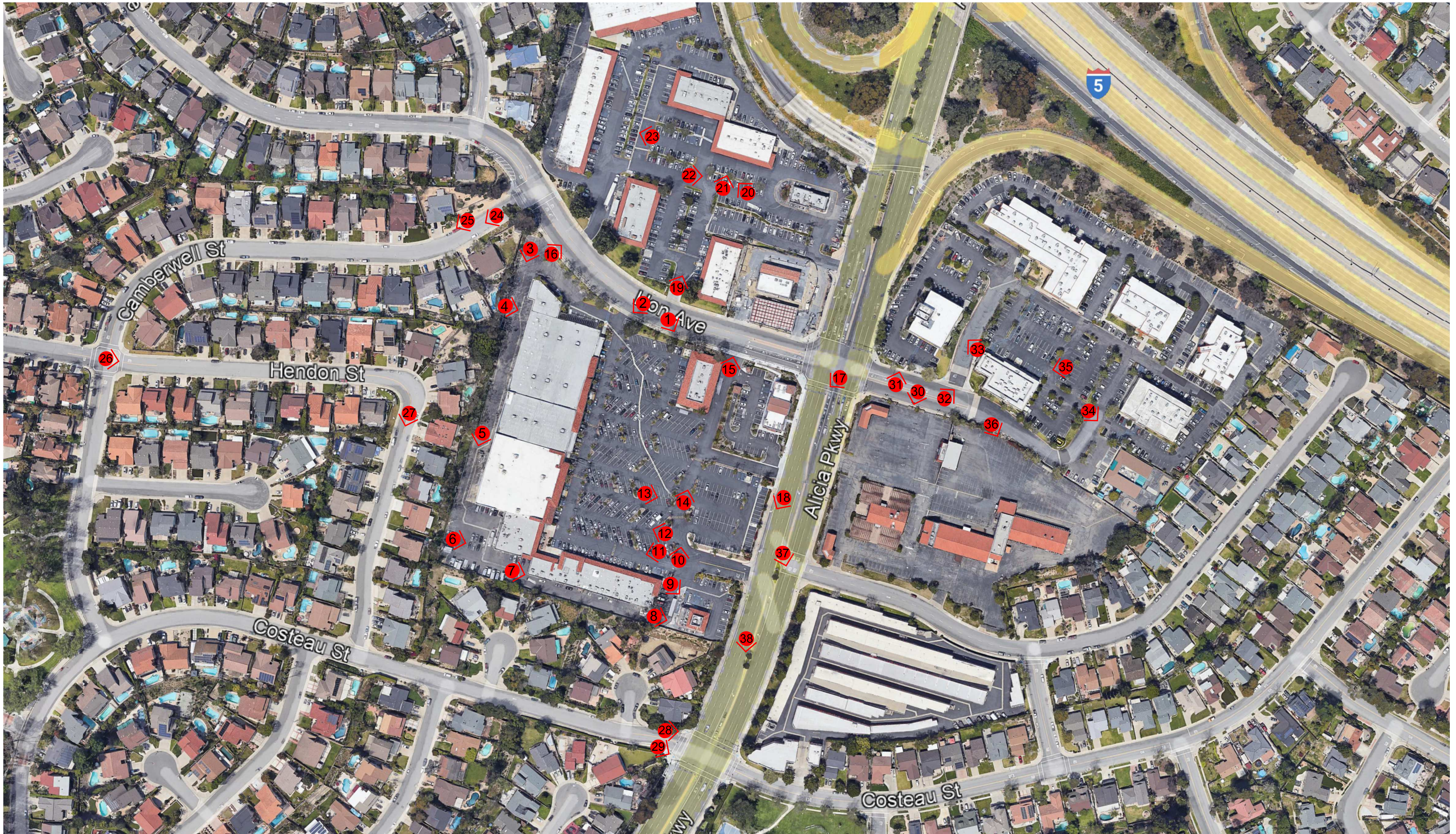
ENTITLEMENT
SITE VIEWS

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11



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7



12



10



8



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ENTITLEMENT SITE VIEWS

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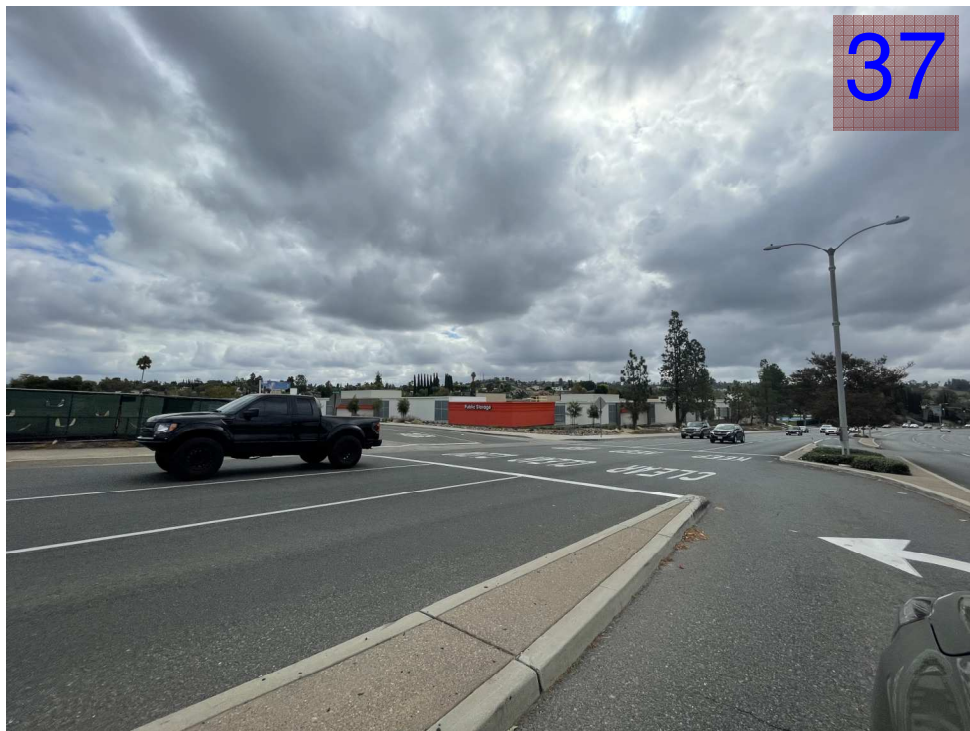
LAGUNA HILLS PLAZA

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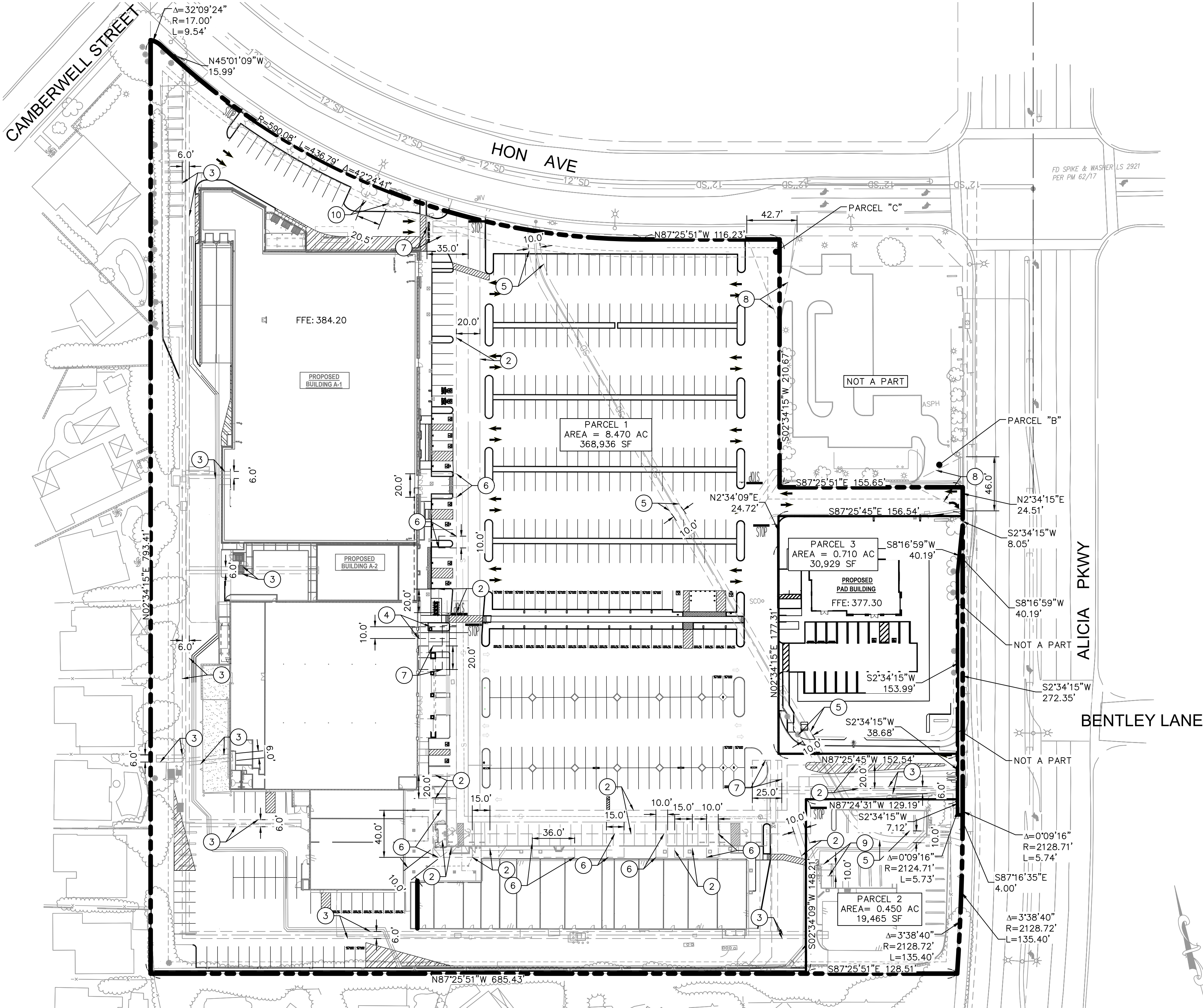
Scale
Job No.
Date
2020-434
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An aerial photograph of a residential neighborhood. A road runs diagonally from the top left towards the bottom right. A label 'SITE LOCATION' with a black arrow points to a building complex in the lower-middle part of the image. The area is densely packed with houses and some larger commercial or institutional buildings. The Google Earth logo is visible in the bottom right corner.

24841 ALICIA PARKWAY
LACUNA HILLS CA 92653

100





TENTATIVE PARCEL MAP NO. 2022-189

IN THE CITY OF LAGUNA HILLS COUNTY OF ORANGE
STATE OF CALIFORNIA

A.P. NO.: 620-011-89
DECEMBER 2022

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING EASEMENT
- EXISTING SEWER LINE
- EXISTING GAS LINE
- EXISTING ELECTRICITY LINE

EARTHWORK QUANTITIES

CUT: 3453.0 CY
FILL: 1602.0 CY
NET: 1851.0 CY (CUT)

DRAINAGE AREA

9.63 AC

BASIS OF BEARINGS

BEING A PORTION OF THE CENTER LINE OF ALICIA PARKWAY WHICH BEARS N44053E PER PARCEL MAP 62/17 ON FILE IN THE COUNTY OF ORANGE RECORDERS OFFICE.

FLOOD ZONE

THE SUBJECT PROPERTY IS WITHIN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP FOR COMMUNITY NUMBER 06059C PANELS PARTIALLY 0065F DATED 11-3-93, 0064E DATED 9-15-89 SAID AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.

LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA DESCRIBED AS FOLLOWS:

PARCEL A:

PARCEL 1 IN THE CITY OF LAGUNA HILLS, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP FILED IN BOOK 62, PAGE 17 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION THEREOF LYING SOUTHEASTERLY OF THE NORTHEASTERLY PROLONGATION OF THE NORTHWESTERLY LINE OF PARCEL 2 AS SHOWN ON SAID MAP. EXCEPT 50 PERCENT OF ALL RIGHTS TO OIL, GAS AND OTHER HYDROCARBON AND MINERAL SUBSTANCES LYING UNDER OR THAT MAY BE PRODUCED FROM THE ABOVE DESCRIBED LAND, TOGETHER WITH 50 PERCENT OF ALL RIGHTS TO THE PROCEEDS THEREFROM AND 50 PERCENT OF ALL RENTS, BONUSES AND PROFITS ACCRUING THEREON; PROVIDED HOWEVER, THAT GRANTOR WAIVES AND RELINQUISHES THE RIGHT TO USE OF OCCUPANCY OR TO ENTER UPON ANY PORTION OF THE SURFACE AND LAND, FOR THE PURPOSE OF DRILLING FOR, CAPTURING, PRODUCING, EXTRACTING, STORING, TREATING OR OTHERWISE HANDLING OR UTILIZING SUCH OIL, GAS OR OTHER HYDROCARBON MINERAL SUBSTANCES OR FOR THE PURPOSE OF EXERCISING GRANTOR'S RIGHT THEREON, AS RESERVED IN DEEDS FROM FIRST WESTERN BANK AND TRUST COMPANY, A CORPORATION, SUCCESSOR TO FIRST NATIONAL BANK IN SANTA ANA TO JERRETT WILSON DUNLAP, A MARRIED MAN, RECORDED JULY 18, 1967 IN BOOK 8314, PAGE 98 OF OFFICIAL RECORDS AND J.L. BROWNING, AN UNMARRIED MAN, RECORDED JULY 18, 1967 IN BOOK 8314, PAGE 104 OF OFFICIAL RECORDS.

SAID LAND IS SHOWN AS PARCEL 1 ON LOT LINE ADJUSTMENT LL79-13 ON LOT LINE ADJUSTMENT LL79-13 RECORDED MAY 17, 1979 IN BOOK 13149, PAGE 1020 OF OFFICIAL RECORDS.

PARCEL B:

AN EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF PARCEL 2 OF PARCEL MAP, IN THE CITY OF LAGUNA HILLS, COUNTY OF ORANGE, STATE OF CALIFORNIA FILED IN BOOK 62, PAGE 17 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID PARCEL 2, THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL 2 75° 19' 07" WEST 45 FEET THENCE NORTH 77° 36' 40" EAST 50.54 FEET TO A POINT IN THE WESTERLY LINE OF ALICIA PARKWAY 120 FEET WIDE, AS SHOWN ON SAID PARCEL MAP, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE ALONG SAID WESTERLY LINE SOUTH 14° 40' 53" WEST 23 FEET TO THE POINT OF BEGINNING.

PARCEL C:

AN EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF PARCELS 1 AND 2 OF PARCEL MAP, IN THE CITY OF LAGUNA HILLS, COUNTY OF ORANGE, STATE OF CALIFORNIA FILED IN BOOK 62, PAGE 17 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF PARCEL 2 OF SAID PARCEL MAP, THENCE ALONG THE NORTHERLY PROLONGATION OF THE WESTERLY KINE OF SAID PARCEL 2 NORTH 14° 40' 53" EAST 25.73 FEET TO A POINT ON THE SOUTHERLY LINE OF HON AVENUE, 80 FEET WIDE, AS SHOWN ON SAID PARCEL MAP, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE ALONG THE WESTERLY LINE OF PARCEL 2 AND THE NORTHERLY PROLONGATION THEREOF SOUTH 14° 40' 53" WEST 75 FEET; THENCE NORTH 25° 59' 29" EAST 76.49 FEET TO A POINT IN SAID SOUTHERLY LINE OF HON AVENUE; SAID POINT BEING SOUTH 75° 19' 07" EAST 15 FEET FROM THE TRUE POINT OF BEGINNING; THENCE ALONG SAID SOUTHERLY LINE NORTH 75° 19' 07" WEST 15 FEET TO THE TRUE POINT OF BEGINNING.

LAND OWNER

LAGUNA HILLS PLAZA, LLC
24841 ALICIA PARKWAY
LAGUNA HILLS, CA 92653

CIVIL ENGINEER

JACOB GLAZE, P.E.
KIMLEY-HORN AND ASSOCIATES
1100 W. TOWN AND COUNTRY ROAD, SUITE 700
ORANGE, CA 92668

SURVEYOR

DMC ENGINEERING
18 TECHNOLOGY DR., SUITE 100 IRVINE,
CA 92618

APPLICANT

MARK LAUSIER
ARCHITECTS ORANGE
144 NORTH ORANGE ST
ORANGE, CA 92666

LOT SUMMARY

EXISTING PARCEL: 1
TOTAL ACREAGE: 9.630 AC
TOTAL LOTS - 1
LAND USE: COMMERCIAL

PROPOSED PARCEL 1:
TOTAL ACREAGE: 8.470 AC
TOTAL LOTS - 3
LAND USE: COMMERCIAL

PROPOSED PARCEL 2:
TOTAL ACREAGE: 0.450 AC
TOTAL LOTS - 3
LAND USE: COMMERCIAL

PROPOSED PARCEL 3:
TOTAL ACREAGE: 0.710 AC
TOTAL LOTS - 3
LAND USE: COMMERCIAL

DEVELOPMENT STANDARDS

ITEM	STANDARD	PARCEL 1	PARCEL 2	PARCEL 3
MINIMUM LOT SIZE	10,000 SF	368,936 SF	19,465 SF	30,929 SF
MINIMUM LOT WIDTH	50 FT	794 FT	149 FT	202 FT
MINIMUM LOT DEPTH	100 FT	685 FT	128 FT	152 FT
MAXIMUM DENSITY	0.38 FAR	0.25 FAR	0.13 FAR	0.11 FAR
MAXIMUM BUILDING HEIGHT	40 FT	36 FT	30 FT	40 FT
MINIMUM SETBACK—FRONT: PARKING LOT BUILDING	10 FT 10 FT	28 FT 450 FT	10 FT 54 FT	22 FT 28 FT
MINIMUM SETBACK — SIDE	10 FT	38 FT	19.8 FT	36 FT
MINIMUM SETBACK—STREET SIDE	10 FT	182 FT	54 FT	50 FT
MINIMUM SETBACK—REAR	10 FT	42 FT	14 FT	26 FT
MINIMUM LANDSCAPE COVERAGE	15%	OVERALL SITE 11.2%		
MINIMUM BUILDING SEPARATION: MAIN TO MAIN MAIN TO ACCESSORY ACCESSORY TO ACCESSORY	10 FT 2.5 FT 2.5 FT	2.5 FT	64 FT	157 FT
PARKING RATIO	5.00	OVERALL SITE 4.94		

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

THE DEVELOPMENT PROJECT AND ANY ALTERNATIVES PROPOSED IN THIS APPLICATION ARE CONTAINED ON THE LISTS COMPILED PURSUANT TO SECTION 65962.5 OF THE GOVERNMENT CODE. ACCORDINGLY, THE PROJECT APPLICANT IS REQUIRED TO SUBMIT A SIGNED STATEMENT THAT CONTAINS THE FOLLOWING INFORMATION:

NAME OF APPLICANT: JACOB GLAZE
ADDRESS: 1100 TOWN AND COUNTRY ROAD, SUITE 700, ORANGE, CA 92668
LOCAL AGENCY: CITY OF LAGUNA HILLS / ORANGE COUNTY CA
ASSESSORS BOOK, PAGE AND PARCEL NUMBER: ASSESSOR BOOK 62, PAGE 17 620-011-40, 620-011-89

SPECIFY ANY LIST PURSUANT TO SECTION 65962.5 OF THE GOVERNMENT CODE:

REGULATORY IDENTIFICATION NUMBER:
DATE OF LIST:

APPLICANT, DATE 01/18/2023

AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
GRANTED TO: MOULTON-NIGUEL WATER DISTRICT
PURPOSE: WATER LINES AND SEWER PIPE LINES
RECORDED: FEBRUARY 24, 1975 IN BOOK 11345, PAGE 490 OF OFFICIAL RECORDS
AFFECTS: PORTION OF SAID LAND
AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
GRANTED TO: MOULTON-NIGUEL WATER DISTRICT
PURPOSE: WATER AND/OR SEWER PIPE LINES
RECORDED: JUNE 23RD, 1975 IN BOOK 11438, PAGE 317 OF OFFICIAL RECORDS
AFFECTS: PORTION OF SAID LAND
AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
GRANTED TO: UNION OIL COMPANY OF CALIFORNIA
PURPOSE: MUTUAL DRIVEWAY
RECORDED: SEPTEMBER 17, 1979 IN BOOK 13311, PAGE 1254 OF OFFICIAL RECORDS
AFFECTS: PORTION OF SAID LAND
AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
GRANTED TO: MOULTON-NIGUEL WATER DISTRICT
PURPOSE: SEWER LINES AND WATER, INCLUDING RECLAIMED WATER AND TRANSMISSION
RECORDED: JULY 28, 1991 AS INSTRUMENT NO. 91-399579 OF OFFICIAL RECORDS
AFFECTS: PORTION OF SAID LAND



GRAPHIC SCALE IN FEET
0 25 50 100
SCALE: 1" = 50'
WHEN PRINTED AT FULL
SIZE 24"x36"

GENERAL SURVEY NOTES

NO TOPOGRAPHIC FEATURES WERE LOCATED BY FIELD, SURVEY WHICH ARE MORE THAN FIVE (5) FEET FROM THE EXTERIOR BOUNDARY, EXCEPT AS SHOWN.

THE DISTANCE SHOWN FROM TO TOPOGRAPHICAL FEATURES IS A MEASUREMENT FROM THE PROPERTY LINE TO THE CLOSEST POINT OF THE FEATURE, EXCEPT AS NOTED.

SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A LICENSED LAND SURVEYOR OR CIVIL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING, OR THE PREPARATION OF MAPS, PLATS, REPORTS, OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

SURVEYORS CERTIFICATION

"WE HEREBY CERTIFY TO CITIBANK, N.A. AND COMMONWEALTH LAND TITLE COMPANY THEIR SUCCESSORS, NOMINEES AND ASSIGNS: (A) THAT THE SURVEY REPRESENTED HEREIN IS AN ACCURATE SURVEY OF ALL OF THE REAL PROPERTY LEGALLY DESCRIBED HEREIN; (B) THAT THE WITHIN SURVEY PROPERLY AND ACCURATELY INDICATES AND LOCATES ALL IMPROVEMENTS ON THE REAL PROPERTY AS OF THE DATE OF THE SURVEY; (C) THAT THE WITHIN SURVEY WAS PREPARED UNDER THE DIRECT SUPERVISION AND CONTROL OF THE UNDERSIGNED FROM AN ACTUAL SURVEY MADE OF THE REAL PROPERTY LEGALLY DESCRIBED HEREIN; (D) THAT THERE ARE NO ENCROACHMENTS EITHER ACROSS PROPERTY LINES OR ZONING RESTRICTION LINES IN EFFECT AS OF THE DATE OF THE SURVEY; (E) THAT THE WITHIN SURVEY PROPERLY DESIGNATES AND LOCATES ALL VISIBLE OR RECORDED EASEMENTS AS OF THE DATE OF THE SURVEY; (F) ALL UTILITY SERVICES REQUIRED FOR THE OPERATION OF THIS PROPERTY EITHER ENTER THE PROPERTY THROUGH THE ADJOINING PUBLIC STREETS OR IF THEY PASS THROUGH OR ARE LOCATED ON PRIVATE LAND DO SO IN ACCORDANCE WITH EASEMENTS ENURING TO THE OWNER OF THE PROPERTY; (G) INGRESS AND EGRESS TO THE SUBJECT PROPERTY IS PROVIDED BY ALICIA PARKWAY UPON WHICH THE PROPERTY ABUTS, THE SAME BEING PAVED AND DEDICATED RIGHTS-OF-WAY MAINTAINED BY CITY OF LAGUNA HILLS; (H) THE PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARDOUS AREA BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND LIES IN A Zone "X" OF MINIMUM FLOODING; (I) THE SUBJECT PROPERTY DOES NOT SERVICE ANY ADJOINING PROPERTY FOR DRAINAGE, INGRESS, EGRESS OR ANY OTHER PURPOSE; (J) THAT THE LAND, AS DESCRIBED ON THE SURVEY DOES NOT CONSTITUTE AN ILLEGAL SUBDIVISION OF LAND UNDER LOCAL, COUNTY OR CITY ORDINANCES; AND (K) THAT THE WITHIN SURVEY (1) WAS PREPARED IN ACCORDANCE WITH THE 1999 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, INCLUDING ITEMS 2.3.4.6 (A), (B), (C), (D), (E), (F), (G), (H), (I), (J), (K), (L), (M), (N), (O), (P), (Q), (R), (S), (T), (U), (V), (W), (X), (Y), (Z), (AA), (AB), (AC), (AD), (AE), (AF), (AG), (AH), (AI), (AJ), (AK), (AL), (AM), (AN), (AO), (AP), (AQ), (AR), (AS), (AT), (AU), (AV), (AW), (AX), (AY), (AZ), (BA), (BB), (BC), (BD), (BE), (BF), (BG), (BH), (BI), (BJ), (BK), (BL), (BM), (BN), (BO), (BP), (BQ), (BR), (BS), (BT), (BU), (BV), (BW), (BX), (BY), (BZ), (CA), (CB), (CC), (CD), (CE), (CF), (CG), (CH), (CI), (CJ), (CK), (CL), (CM), (CN), (CO), (CP), (CQ), (CR), (CS), (CT), (CU), (CV), (CW), (CX), (CY), (CZ), (DA), (DB), (DC), (DD), (DE), (DF), (DG), (DH), (DI), (DJ), (DK), (DL), (DM), (DN), (DO), (DP), (DQ), (DR), (DS), (DT), (DU), (DV), (DW), (DX), (DY), (DZ), (EA), (EB), (EC), (ED), (EE), (EF), (EG), (EH), (EI), (EJ), (EK), (EL), (EM), (EN), (EO), (EP), (EQ), (ER), (ES), (ET), (EU), (EV), (EW), (EX), (EY), (EZ), (FA), (FB), (FC), (FD), (FE), (FF), (FG), (FH), (FI), (FJ), (FK), (FL), (FM), (FN), (FO), (FP), (FQ), (FR), (FS), (FT), (FU), (FV), (FW), (FX), (FY), (FZ), (GA), (GB), (GC), (GD), (GE), (GF), (GG), (GH), (GI), (GJ), (GK), (GL), (GM), (GN), (GO), (GP), (GQ), (GR), (GS), (GT), (GU), (GV), (GW), (GX), (GY), (GZ), (HA), (HB), (HC), (HD), (HE), (HF), (HG), (HH), (HI), (HJ), (HK), (HL), (HM), (HN), (HO), (HP), (HQ), (HR), (HS), (HT), (HU), (HV), (HW), (HX), (HY), (HZ), (IA), (IB), (IC), (ID), (IE), (IF), (IG), (IH), (II), (IJ), (IK), (IL), (IM), (IN), (IO), (IP), (IQ), (IR), (IS), (IT), (IU), (IV), (IW), (IX), (IY), (IZ), (JA), (JB), (JC), (JD), (JE), (JF), (JG), (JH), (JI), (JJ), (JK), (JL), (JM), (JN), (JO), (JP), (JQ), (JR), (JS), (JT), (JU), (JV), (JW), (JX), (JY), (JZ), (KA), (KB), (KC), (KD), (KE), (KF), (KG), (KH), (KI), (KJ), (KK), (KL), (KM), (KN), (KO), (KP), (KQ), (KR), (KS), (KT), (KU), (KV), (KW), (KX), (KY), (KZ), (LA), (LB), (LC), (LD), (LE), (LF), (LG), (LH), (LI), (LJ), (LK), (LL), (LM), (LN), (LO), (LP), (LQ), (LR), (LS), (LT), (LU), (LV), (LW), (LX), (LY), (LZ), (MA), (MB), (MC), (MD), (ME), (MF), (MG), (MH), (MI), (MJ), (MK), (ML), (MN), (MO), (MP), (MQ), (MR), (MS), (MT), (MU), (MV), (MW), (MX), (MY), (MZ), (NA), (NB), (NC), (ND), (NE), (NF), (NG), (NH), (NI), (NJ), (NK), (NL), (NM), (NO), (NP), (NQ), (NR), (NS), (NT), (NU), (NV), (NW), (NX), (NY), (NZ), (OA), (OB), (OC), (OD), (OE), (OF), (OG), (OH), (OI), (OJ), (OK), (OL), (OM), (ON), (OO), (OP), (OQ), (OR), (OS), (OT), (OU), (OV), (OW), (OX), (OY), (OZ), (PA), (PB), (PC), (PD), (PE), (PF), (PG), (PH), (PI), (PJ), (PK), (PL), (PM), (PN), (PO), (PP), (PQ), (PR), (PS), (PT), (PU), (PV), (PW), (PX), (PY), (PZ), (QA), (QB), (QC), (QD), (QE), (QF), (QG), (QH), (QI), (QJ), (QK), (QL), (QM), (QN), (QO), (QP), (QQ), (QR), (QS), (QT), (QU), (QV), (QW), (QX), (QY), (QZ), (RA), (RB), (RC), (RD), (RE), (RF), (RG), (RH), (RI), (RJ), (RK), (RL), (RM), (RN), (RO), (RP), (RQ), (RR), (RS), (RT), (RU), (RV), (RW), (RX), (RY), (RZ), (SA), (SB), (SC), (SD), (SE), (SF), (SG), (SH), (SI), (SJ), (SK), (SL), (SM), (SN), (SO), (SP), (SQ), (SR), (SS), (ST), (SU), (SV), (SW), (SX), (SY), (SZ), (TA), (TB), (TC), (TD), (TE), (TF), (TG), (TH), (TI), (TJ), (TK), (TL), (TM), (TN), (TO), (TP), (TQ), (TR), (TS), (TT), (TU), (TV), (TW), (TX), (TY), (TZ), (UA), (UB), (UC), (UD), (UE), (UF), (UG), (UH), (UI), (UJ), (UK), (UL), (UM), (UN), (UO), (UP), (UQ), (UR), (US), (UT), (UU), (UV), (UW), (UX), (UY), (UZ), (VA), (VB), (VC), (VD), (VE), (VF), (VG), (VH), (VI), (VJ), (VK), (VL), (VM), (VN), (VO), (VP), (VQ), (VR), (VS), (VT), (VU), (VW), (VX), (VY), (VZ), (WA), (WB), (WC), (WD), (WE), (WF), (WG), (WH), (WI), (WJ), (WK), (WL), (WM), (WN), (WO), (WP), (WQ), (WR), (WS), (WT), (WU), (WV), (WW), (WX), (WY), (WZ), (XA), (XB), (XC), (XD), (XE), (XF), (XG), (XH), (XI), (XJ), (XK), (XL), (XM), (XN), (XO), (XP), (XQ), (XR), (XS), (XT), (XU), (XV), (XW), (XX), (XY), (XZ), (YA), (YB), (YC), (YD), (YE), (YF), (YG), (YH), (YI), (YJ), (YK), (YL), (YM), (YN), (YO), (YP), (YQ), (YR), (YS), (YT), (YU), (YV), (YW), (YX), (YY), (YZ), (ZA), (ZB), (ZC), (ZD), (ZE), (ZF), (ZG), (ZH), (ZI), (ZJ), (ZK), (ZL), (ZM), (ZN), (ZO), (ZP), (ZQ), (ZR), (ZS), (ZT), (ZU), (ZV), (ZW), (ZX), (ZY), (ZZ)."

EASEMENTS

- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
- AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
GRANTED TO: MOULTON-NIGUEL WATER DISTRICT
PURPOSE: SEWER LINES AND WATER TRANSMISSION
RECORDED: NOVEMBER 7, 1974 IN BOOK 11282, PAGE 1413 OF OFFICIAL RECORDS
AFFECTS: PORTION OF SAID LAND
- AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY
PURPOSE: PUBLIC UTILITIES
RECORDED: DECEMBER 3, 1974 IN BOOK 11298, PAGE 406 OF OFFICIAL RECORDS
AFFECTS: PORTION OF SAID LAND
- AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
GRANTED TO: MOULTON-NIGUEL WATER DISTRICT
PURPOSE: WATER AND/OR SEWER PIPE LINES
RECORDED: DECEMBER 17, 1974 IN BOOK 11306, PAGE 1029 OF OFFICIAL RECORDS
AFFECTS: PORTION OF SAID LAND
- AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
GRANTED TO: COUNTY OF ORANGE
PURPOSE: DRAINAGE
RECORDED: JANUARY 13, 1975 IN BOOK 11321, PAGE 1763 OF OFFICIAL RECORDS
AFFECTS: PORTION OF SAID LAND

MAP PREPARED BY

JACOB GLAZE, P.E.
KIMLEY-HORN AND ASSOCIATES
1100 W. TOWN AND COUNTRY ROAD, SUITE 700
ORANGE, CA 92668
(714) 786-6297

DATE OF SURVEY: OCTOBER 24, 1996, JULY 8, 1999,
APRIL 24, 2014
ALL OF TENTATIVE TRACT NO.

SEWER DISTRICT:

MOULTON NIGUEL WATER DISTRICT

FIRE DISTRICT:

ORANGE COUNTY FIRE AUTHORITY

WATER DISTRICT:

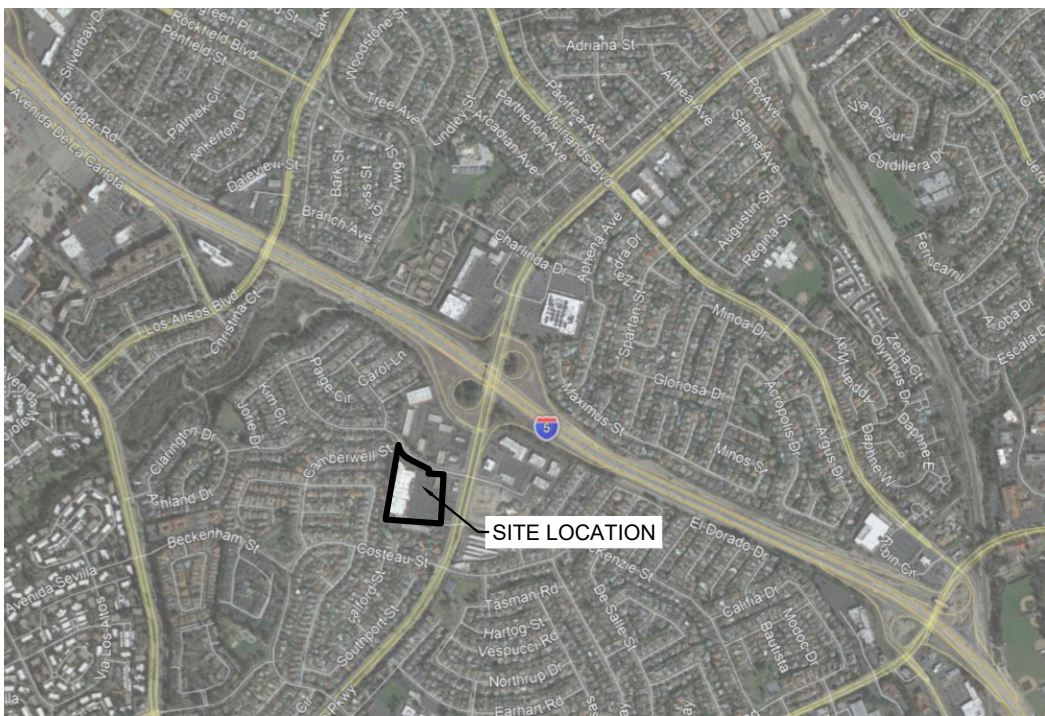
MOULTON NIGUEL WATER DISTRICT

ZONING DISTRICT:

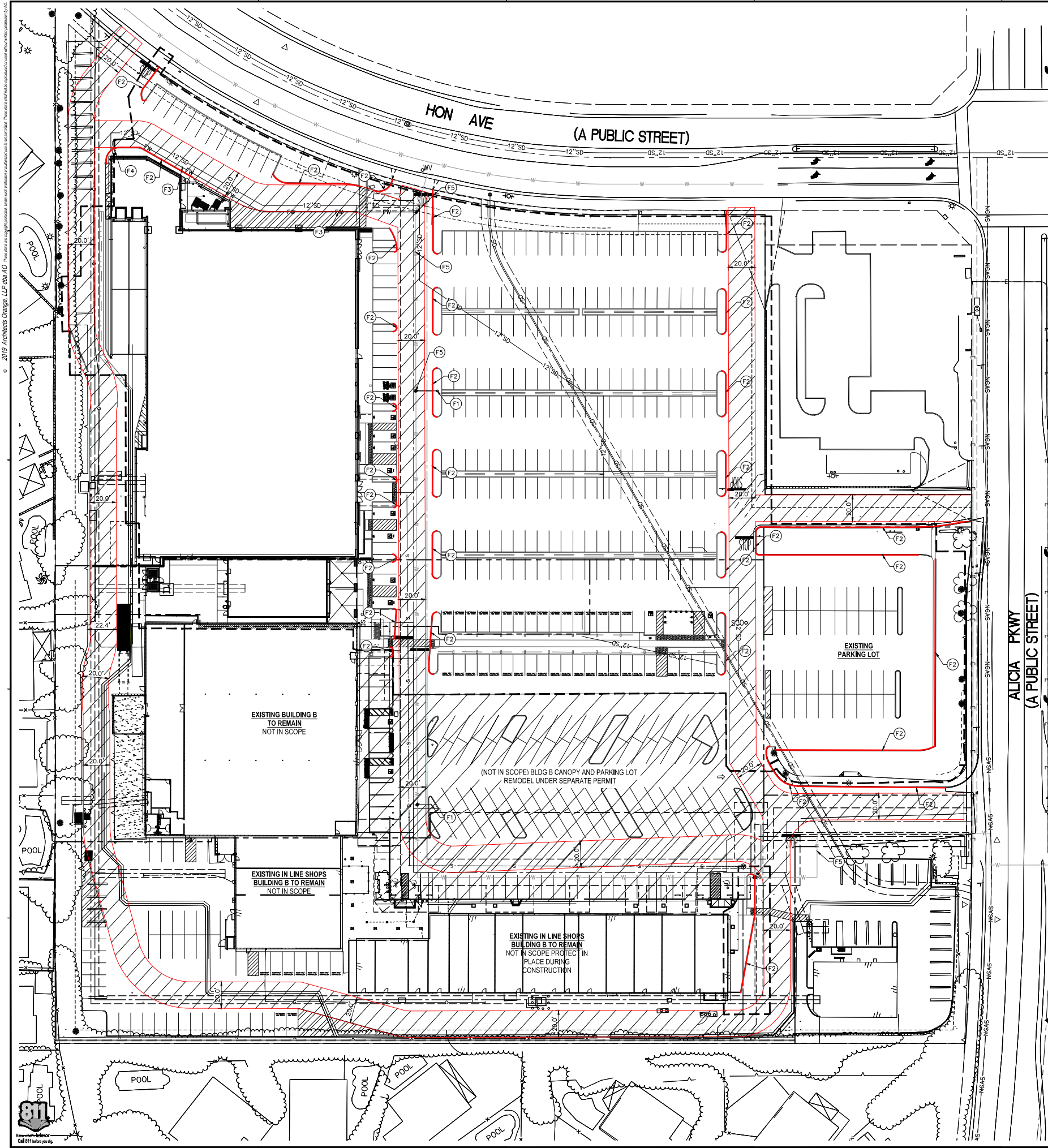
CC COMMUNITY COMMERCIAL

SCHOOL DISTRICT:

SADDLEBACK VALLEY UNIFIED



VICINITY MAP
SCALE: N.T.S.



LEGEND

PROPERTY LINE
EASEMENT LINE
CURB TO BE PAINTED FIRE LANE
RED PER ORANGE COUNTY FIRE AUTHORITY FIRE CODE
FW
PROPOSED WATER LINE
PROPOSED WATER PIPE
PROPOSED FIRE LANE
CIVIL LIMIT OF WORK

FIRE AUTHORITY NOTES

INSPECTION REQUIREMENTS

1. OCA SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS ARE REQUIRED AFTER 1 P.M. ON THE SCHEDULED DATE. THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL OCA INSPECTION SCHEDULING AT (714) 573-6150.
2. A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS (OR COMBUSTIBLE FIXTURES AND FINISHES FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION) AT ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 94,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
3. FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICE REQUEST NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION.
4. PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAID AT PLAN SUBMITTAL. CONTACT INSPECTION SCHEDULING TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
5. AN ORIGINAL, APPROVED, SIGNED, WET-STAMPED OCA FIRE MASTER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
6. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTION OF FIRE LANES AND HYDRANTS WILL RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
7. TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE OCA PRIOR TO USE. THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND THE STANDING WHEN WAYFINDING SIGNS ARE ALSO REQUIRED BY THE OCA. THEY MAY BE DESIGNED TO LOCAL AHJ REQUIREMENTS PROVIDED THAT SUCH STANDARDS FACILITATE LOCATION OF STRUCTURES, SUITES, AND DWELLING UNITS BY EMERGENCY PERSONNEL.
8. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE OCA AND OCA GUIDELINES.
9. ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
10. BUILDINGS OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.

GENERAL REQUIREMENTS

11. FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G., ROLLED, RAMPED, ETC.). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PREPARED GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED OCA FIRE MASTER PLAN AND STANDARDS IDENTIFIED IN OCA GUIDELINE B-09 FOR ALL PORTIONS OF THE FIRE ACCESS ROADS.
12. PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 94,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
13. FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN IN OCA GUIDELINE B-09 AND SHALL BE INSTALLED AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
14. ALL FIRE HYDRANTS SHALL HAVE A BLUE REFLECTIVE PAVEMENT MARKER INDICATING THEIR LOCATION PER THE OCA STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
15. ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH OCA GUIDELINE B-09. WAYFINDING SIGNS, WHEN REQUIRED BY THE LOCAL AHJ, SHALL COMPLY WITH THE STANDARDS OF THE STATE AGENCY WHEN WAYFINDING SIGNS ARE ALSO REQUIRED BY THE OCA. THEY MAY BE DESIGNED TO LOCAL AHJ REQUIREMENTS PROVIDED THAT SUCH STANDARDS FACILITATE LOCATION OF STRUCTURES, SUITES, AND DWELLING UNITS BY EMERGENCY PERSONNEL.
16. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE OCA AND OCA GUIDELINES.
17. APPROVED ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
18. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIRE FIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.
19. DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR OTHER CORROSION RETARDING MATERIAL.
20. ANY FUTURE MODIFICATION TO THE APPROVED FIRE MASTER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADI, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE OCA.
21. APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN OCA GUIDELINE B-09 AND RELATED PORTIONS OF THE 2019 OCA AND CBC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.

ORANGE COUNTY FIRE AUTHORITY

INSPECTION REQUIREMENTS

1. A MINIMUM OF THREE OCA INSPECTIONS ARE REQUIRED FOR UNDERGROUND PIPING SERVING SPRINKLER SYSTEMS AND/OR PRIVATE HYDRANTS: 1) PRE-POUR INSPECTION; 2) HYDROSTATIC TESTING; 3) FLUSH INSPECTION. PLEASE SCHEDULE ALL INSPECTIONS AT LEAST 48 HRS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 P.M. ON THE DAY BEFORE THE SCHEDULED DATE ARE SUBJECT TO A RE-INSPECTION FEE. CALL OCA INSPECTION SCHEDULING AT (714) 573-6150.
2. PRE-POUR INSPECTION: THRUST BLOCKS SHALL BE COMPLETED, BUT THRUST BLOCKS SHALL NOT BE POURED. ALL PIPE SHALL BE IN PLACE AND EXPOSED FOR VISUAL INSPECTION. PIPE SHALL BE LAID ON A MINIMUM 6 INCH BED OF CLEAN SAND. TRENCHES SHALL BE OF A SUFFICIENT DEPTH TO ALLOW THE REQUIRED COVER ABOVE PIPE. FERROUS PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE TUBING (NO INHIBIT WATER INFILTRATION) AND FERROUS JOINTS (WITH THE EXCEPTION OF STAINLESS STEEL 316) SHALL BE COATED WITH ASPHALTIC SEALANT OR OTHER CORROSION RETARDING MATERIAL. SEE ITEMS 11 -19, 21 AND 22 BELOW FOR DETAILED REQUIREMENTS.
3. HYDRO TESTING: THRUST BLOCKS SHALL BE IN PLACE. PIPE SHALL BE CENTER-LOADED WITH CLEAN SAND TO PREVENT UPLIFT, BUT ALL JOINTS SHALL REMAIN EXPOSED. THE SYSTEM SHALL BE HYDROSTATICALLY TESTED AT 200 PSI (OR 50 PSI OVER MAXIMUM STATIC PRESSURE, WHICHEVER IS GREATER) FOR A DURATION OF AT LEAST 2 HOURS PRIOR TO THE ARRIVAL OF THE OCA INSPECTOR. SEE ITEM 16 FOR DETAILED REQUIREMENTS.
4. FLUSH INSPECTION: ALL PORTIONS OF THE UNDERGROUND SYSTEM SHALL BE FLUSHED TO REMOVE DEBRIS PRIOR TO CONNECTION TO OVERHEAD PIPING. FLOW SHALL BE THROUGH A MINIMUM OF 4 INCH HOSE OR PIPE. INSPECTOR SHALL BE RESTRAINED TO PREVENT INJURY AND DAMAGE. DISCHARGED WATER SHALL BE COLLECTED OR DIVERTED IN ACCORDANCE WITH APPLICABLE SWPPP/NPDES PROVISIONS. THE LOCAL PUBLIC WORKS DEPARTMENT WATER DISTRICT SHALL BE NOTIFIED OF THE SCHEDULED FLUSH BY THE CONTRACTOR. THE OCA FLUSH AND HYDRO INSPECTIONS MAY BE SCHEDULED CONCURRENTLY. SEE ITEMS 11, 18, AND 20 -23 BELOW FOR DETAILED REQUIREMENTS.
5. ON-SITE FLUSH INSPECTION OR PRIOR TO FINAL SPRINKLER OR SITE INSPECTION, ALL DETECTOR CHECK ASSEMBLIES, CONTROL VALVES, AND FIRE DEPARTMENT CONNECTIONS (FDC) SHALL BE CLEARLY LABELED WITH THE ADDRESS(ES) SERVED BY THE DEVICE. ADDRESS SIGNS SHALL BE SECURELY ATTACHED TO THE DEVICE. THE ADDRESS SIGN SHALL BE A DURABLE, FAD-RESISTANT MATERIAL, WHICH IS VISIBLE AND LEGIBLE FROM THE FIRE LANE. FDC AND 4 INCH UNITS SHALL BE UNOBSTRUCTED AND ORIENTED TOWARD THE FIRE LANE. VALVES SHALL BE LOCKED IN THE OPEN POSITION WITH BREAKAWAY LOCKS. ALL PIV VALVES AND PRIVATE HYDRANTS SHALL BE PAINTED OSHA SAFETY RED. INDICATING VALVE TO THE RISER SHALL BE PAINTED OSHA SAFETY RED. HYDRANT AND FDC CAPS SHALL BE IN PLACE. SEE ITEMS 6 -9, 18, AND 20 -23 FOR DETAILED REQUIREMENTS.

GENERAL REQUIREMENTS

6. INSTALLATION, INSPECTION, AND TESTING SHALL CONFORM TO 2016 EDITIONS OF NFPA 13 AND NFPA 24. OCA JURISDICTION BEGINS WITH THE DOWNSTREAM SIDE OF THE LAST VALVE OR CHECK ASSEMBLY. VERIFY DESIGN AND INSTALLATION REQUIREMENTS FOR THE PORTION OF THE SYSTEM PRECEDING THIS POINT WITH THE LOCAL WATER DISTRICT.
7. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE LOCATION OF, AND UNOBSTRUCTED ACCESS TO, ALL HYDRANTS, CONNECTIONS, AND OTHER DEVICES OR AREAS USED FOR FIRE FIGHTING PURPOSES.
8. A MINIMUM 3 FOOT CLEARANCE SHALL BE PROVIDED AROUND ALL HYDRANTS AND POST INDICATING VALVES. A MINIMUM 3 FOOT CLEARANCE SHALL BE PROVIDED ON AT LEAST ONE SIDE OF A DETECTOR CHECK ASSEMBLY TO ALLOW PROPER OPERATION OF THE DEVICE. THE FRONT OF THE FDC AND THE ADJACENT FIRE ACCESS ROADWAY SHALL BE FREE OF ANY OBSTRUCTIONS.
9. ANY FUTURE MODIFICATION TO THE APPROVED PRIVATE UNDERGROUND PIPING SYSTEM IS SUBJECT TO REVIEW, INSPECTION, AND APPROVAL BY THE OCA.
10. APPROVAL OF THIS PLAN SHALL NOT BE INTERPRETED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN OCA GUIDELINE B-09, AND APPLICABLE SECTIONS OF THE 2016 EDITIONS OF NFPA 13 AND NFPA 24. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.

PIPE AND TRENCH REQUIREMENTS

11. 6 INCH BED OF CLEAN FILL SAND SHALL BE PROVIDED BELOW THE PIPE AND 12 INCHES ABOVE THE PIPE (TOTAL OF 18 INCHES PLUS OUTER DIAMETER OF THE PIPE).
12. PIPE SHALL BE BURIED AT LEAST 36 INCHES WHERE SUBJECT TO LOADING (E.G., DRIVEWAYS, PARKING LOTS) AND AT LEAST 30 INCHES ELSEWHERE.
13. ALL PIPE SHALL BE APPROVED FOR USE IN FIRE SERVICE SYSTEMS. CLASS 150 PIPE WILL BE USED AT A MINIMUM, AND CLASS 200 PIPE SHALL BE USED WHERE THE WATER PRESSURE EXCEEDS 150 PSI. THE USE OF GALVANIZED PIPE IS PROHIBITED WHEN A PORTION OF THE PIPE SYSTEM IS BURIED.
14. ALL FERROUS PIPE AND FITTINGS SHALL BE PROTECTED WITH A LOOSE 8-MIL POLYETHYLENE TUBE. WRAPPING THE PIPE IN POLYETHYLENE SHEETING IS NOT ACCEPTABLE. THE ENDS OF THE TUBE AND ANY SPICES MADE FOR TEES OR OTHER PIPING COMPONENTS SHALL BE TIGHTLY SEALED WITH 2 INCH TAPE THAT IS APPROVED FOR UNDERGROUND USE.
15. ALL BOLTS USED FOR UNDERGROUND CONNECTIONS, INCLUDING T BOLTS, SHALL BE 316 STAINLESS STEEL. ASPHALTIC SEALANTS (AND OTHER) SHAPE SEALANTS SHALL NOT BE USED. TAPE COAT SHALL BE USED TO ENSURE BOLTS CAN STILL BE VERIFIED AS 316 STAINLESS STEEL DURING INSPECTION. ALL FERROUS FITTINGS (WITH THE EXCEPTION OF 316 STAINLESS STEEL) SHALL BE CLEANED AND THOROUGHLY COATED WITH ASPHALT OR OTHER CORROSION RETARDING MATERIAL AFTER ASSEMBLY AND PRIOR TO THE INSTALLATION OF POLYETHYLENE TUBE.
16. THRUST BLOCKS, OR ANOTHER APPROVED METHOD OF THRUST RESTRAINT, SHALL BE PROVIDED WHEREVER PIPE CHANGES DIRECTION.
17. A MINIMUM 2 INCH CLEARANCE SHALL BE PROVIDED WHERE THE PIPE PASSES THROUGH SLABS OR WALLS. UNDERGROUND SYSTEM SHALL TERMINATE AT THE RISER FLANGE AND BE PLACED AT A MINIMUM OF 24 INCHES FROM AN EXTERIOR WALL AND 6 INCHES ABOVE THE SLAB.
18. THE FDC SHALL CONTAIN A MINIMUM OF TWO 2 1/2 INCH INLETS WHEN THE SYSTEM DESIGN DEMAND, INCLUDING THE INTERIOR HOSE STREAM DEMAND OR A STANDPIPE, IS A MINIMUM 250 GPM. WHEN THE SYSTEM DESIGN DEMAND, INCLUDING THE INTERIOR HOSE STREAM DEMAND OR A STANDPIPE, IS A MINIMUM 500 GPM, FOUR 2 1/2 INCH INLETS SHALL BE PROVIDED. FDCS SHALL BE PAINTED OSHA SAFETY RED.
19. PIPE RUNNING UNDER A BUILDING OR BUILDING FOUNDATION SHALL BE STAINLESS STEEL AND SHALL NOT CONTAIN MECHANICAL JOINTS.

HYDRANT REQUIREMENTS

20. PRIVATE FIRE HYDRANTS SHALL BE LISTED WITH A MINIMUM OF ONE 2 1/2 INCH AND ONE 4 INCH OUTLET. THE 4 INCH OUTLET SHALL FACE THE FIRE DEPARTMENT ACCESS ROAD. ALL OUTLETS SHALL BE PROVIDED WITH NATIONAL STANDARD THREADS (NST). PRIVATE HYDRANTS SHALL BE PAINTED OSHA SAFETY RED.
21. FIRE HYDRANT SUPPLY PIPING SHALL BE A MINIMUM OF 6 INCHES IN DIAMETER. THE LOWEST VALVE OPERATING NUT SHALL BE A MINIMUM OF 18 INCHES ABOVE GRADE AND THE HYDRANT FLANGE SHALL BE A MINIMUM OF 2 INCHES ABOVE GRADE.
22. A KEYS GATE VALVE SHALL BE PROVIDED FOR EACH HYDRANT IN AN ACCESSIBLE LOCATION. KEYS GATE VALVES SHALL BE LOCATED WITHIN 10 FEET OF THE HYDRANT IN AN AREA THAT IS UNOBSTRUCTED AND CLEARLY VISIBLE. VALVES SHALL NOT BE LOCATED IN PARKING STALLS.
23. ALL FIRE HYDRANTS SHALL HAVE A BLUE REFLECTIVE PAVEMENT MARKER INDICATING THEIR LOCATION PER ATTACHMENT 28 DETAILED IN OCA GUIDELINE B-09. PRIVATE HYDRANTS AND MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.

FIRE WATER NOTES

- (F1) PROPOSED FIRE HYDRANT PER MNWD STD DWG NO W-7 ON SHEET F3.0
- (F2) CURB TO BE PAINTED FIRE LANE RED PER CITY OF LOS ANGELES FIRE CODE.
- (F3) PROPOSED FIRE WATER LINE PER MNWD STD DWG NO W-11 AND W-12 ON SHEET F3.0
- (F4) PROPOSED FIRE WATER BUILDING POINT OF CONNECTION.
- (F5) PROPOSED WATER LINE POINT OF CONNECTION.
- (F6) PROPOSED FIRE WATERLINE STUB FOR FUTURE USE.

NOTE

FIRE SPRINKLER AND FIRE ALARM SYSTEM MODIFICATION ARE PART OF A DEFERRED SUBMITTAL.

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A MILAN CAPITAL MANAGEMENT, INC. PROJECT

LAGUNA HILLS PLAZA IMPROVEMENT LANDLORD IMPROVEMENT

24001 ALICIA PARKWAY
LAGUNA HILLS, CA 92653

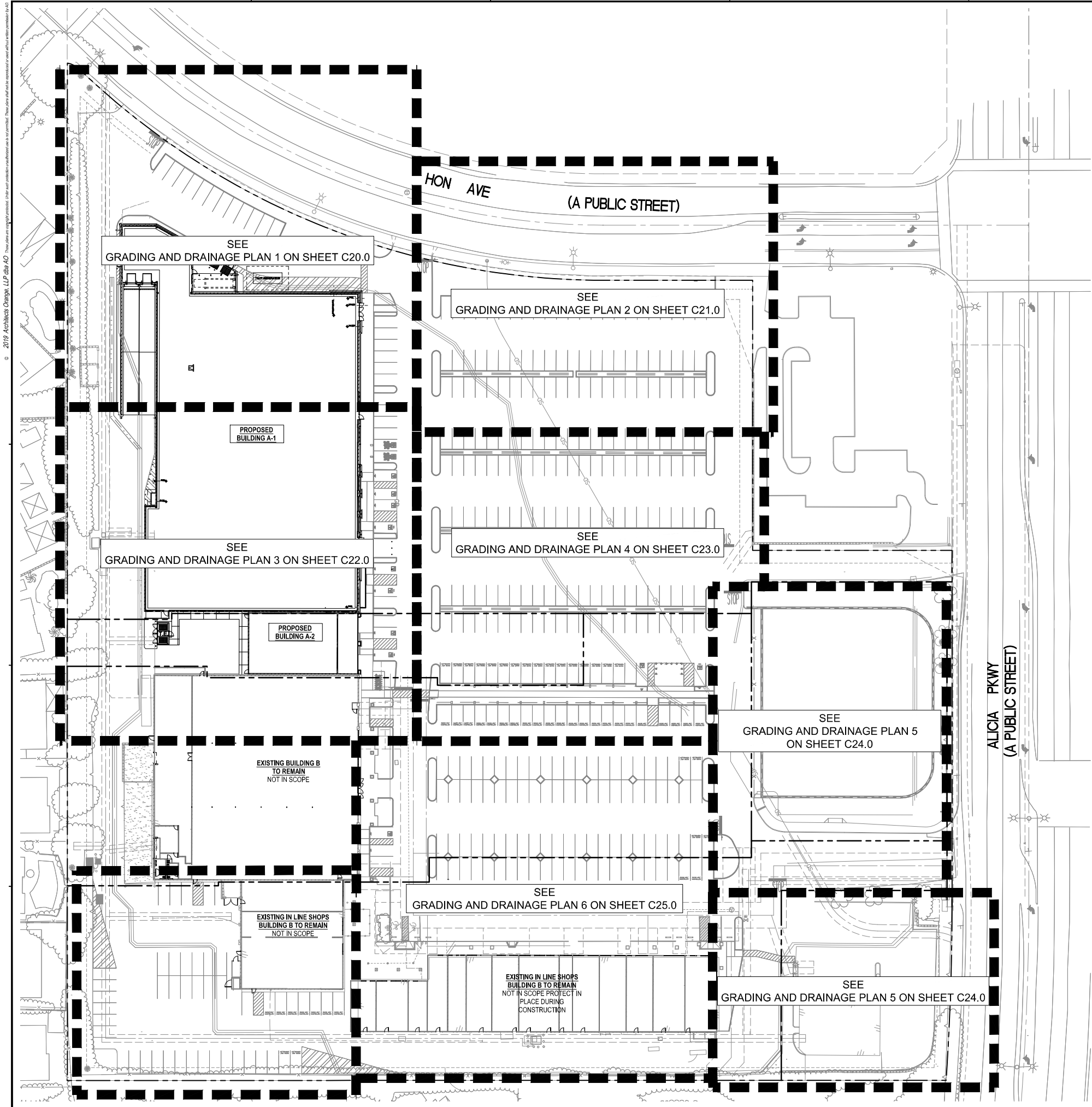
Project Number: 2020-044
Plan Check Number: XXXXX

2022-04-11 TENANT REVIEW SET
2022-06-15 TENANT REVIEW SET
2022-07-07 BUILDING DEPARTMENT SUBMITTAL

F1.0

GRAPHIC SCALE IN FEET
0 15 30 60

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SITE DATA
ADDRESS: 24841 ALICIA PKWY, LAGUNA HILLS, CA 92653
APN: 620-011-89, 620-011-40
ZONING: NEIGHBORHOOD MIXED USE
FLOOD ZONE: ZONE X - AREA OF MINIMAL FLOOD HAZARD
PROJECT AREA: 5.15 ACRES



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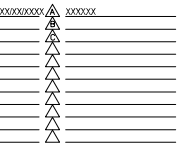
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PROJECT**

**LAGUNA HILLS PLAZA
IMPROVEMENT
LANDLORD IMPROVEMENT
24799 ALICIA PARKWAY
LAGUNA HILLS, CA 92653**

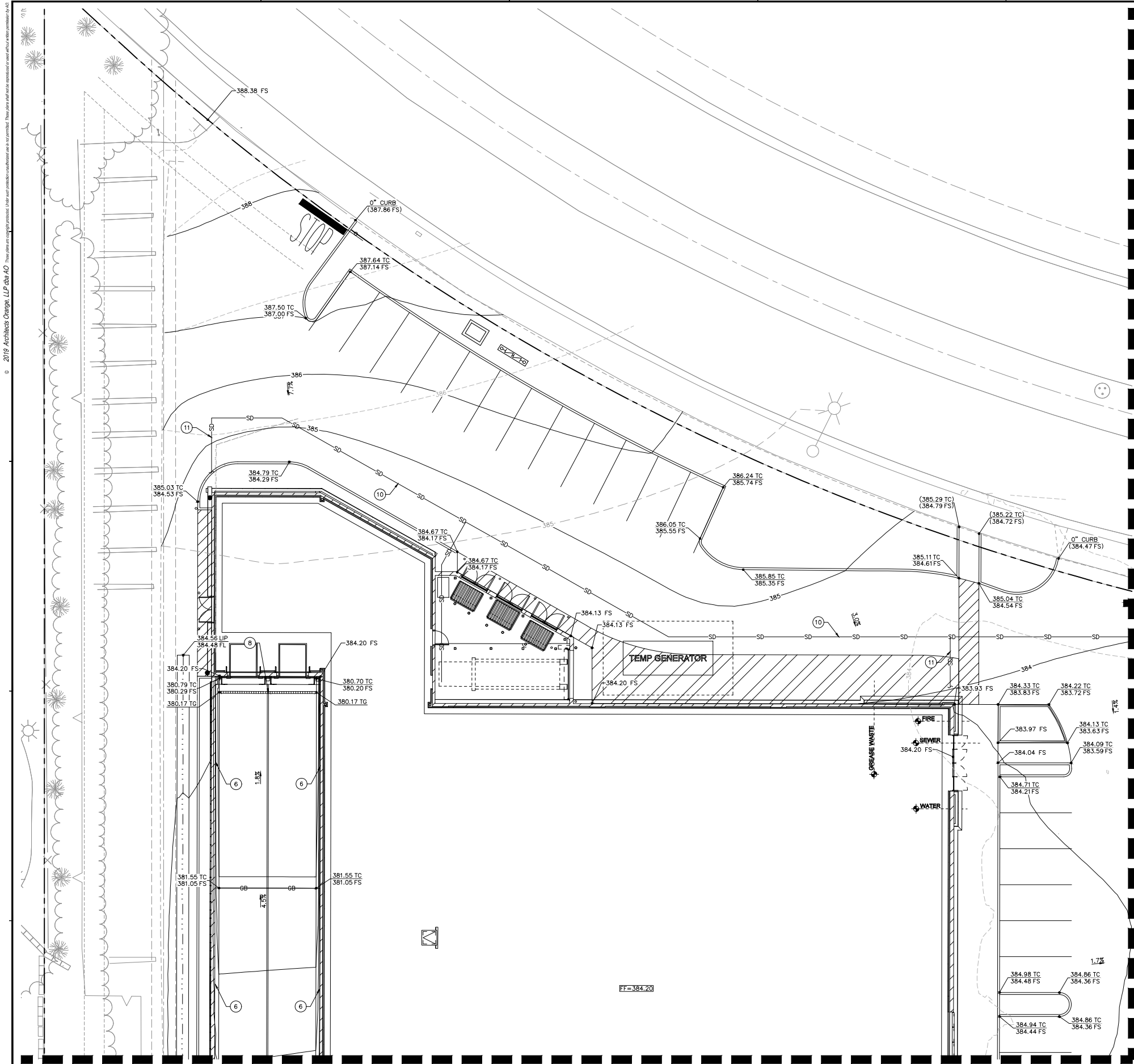
**OVERALL SITE
PLAN**

Project Number: XXXX-XXX
Plan Check Number: XXXXX
XXXXX2021 INITIAL SUBMITTAL



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GRADING LEGEND

	PROPERTY LINE
	CIVIL LIMIT OF WORK
	DRAINAGE AREA
	PROPOSED CONTOUR ELEVATION
	EXISTING CONTOUR ELEVATION
	PROPOSED STORM DRAIN LINE
	PROPOSED RIDGE LINE

GRADING AND DRAINAGE NOTES

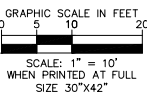
- 1) PROPOSED 12" HDPE STORM DRAIN LINE.
- 2) PROPOSED CATCH BASIN AND LOCAL DEPRESSION PER SPPWC 300-3.
- 3) PROPOSED UNDERGROUND DETENTION BASIN.
- 4) CONNECT TO EXISTING STORM DRAIN SYSTEM.
- 5) PROPOSED RECESSED TRUCK DOCK PER ARCHITECTURAL PLANS.
- 6) PROPOSED TRENCH DRAIN. REFER TO MEP PLANS FOR DETAILS.
- 7) PROPOSED MODULAR WETLANDS SYSTEM.
- 8) PROPOSED TRENCH DRAIN. REFER TO MEP PLANS FOR DETAILS.
- 9) NOT USED
- 10) PROPOSED 8" HDPE STORM DRAIN LINE.
- 11) PROPOSED ROOF DRAIN LATERAL.

PAVING, GRADING, AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR SPPWS SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND REPAIRED TO EXISTING CONDITION OR BETTER.
3. TRAFFIC CONTROL ON ALL CALTRANS, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.
5. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED IN THE DRAWINGS.
6. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED IN THE DRAWINGS.
7. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
8. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
9. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
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11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE STABILIZED BY MEANS AND METHODS APPROVED BY THE LOCAL AGENCY. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE COVERED WITH ROCK OR MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
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13. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE GOVERNING CODE.
14. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE REQUIRED PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY GOVERNING JURISDICTIONS.
15. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
16. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2.0% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES UNLESS OTHERWISE NOTED.
17. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
18. THE CONTRACTOR SHALL ENSURE THE PROPOSED PAVED AREAS MATCH THE EXISTING DRAINAGE PATTERN AND DRAIN AWAY FROM THE BUILDING AS INDICATED IN THE PLANS.
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NOTE:

CONTRACTOR TO VERIFY STORM DRAIN CONNECTION POINTS PRIOR TO INSTALLING STORM DRAIN LINES AND STRUCTURES.



SEE SHEET C22.0

SEE SHEET C21.0



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PROJECT

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LANDLORD IMPROVEMENT
24799 ALICIA PARKWAY
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GRADING AND
DRAINAGE PLAN 1

Project Number: XXXX-XXX
Plan Check Number: XXXXX

XXXXX2021 INITIAL SUBMITTAL



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Know what's below.
Call 811 before you dig.

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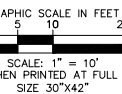
The diagram illustrates a cross-section of a proposed storm drain line. It features several horizontal lines representing different boundaries and elevations. From top to bottom, the lines are: a dashed line for the PROPERTY LINE; a solid line for the CIVIL LIMIT OF WORK; a solid line for the DRAINAGE AREA; a solid line for the PROPOSED CONTOUR ELEVATION, labeled with the number 262; a solid line for the EXISTING CONTOUR ELEVATION, also labeled with the number 262; a thick solid line for the PROPOSED STORM DRAIN LINE, with 'SD' labels at its ends; and a solid line for the PROPOSED RIDGE LINE, with 'GB' labels at its ends.

Symbol / Label	Description
--- (dashed line)	PROPERTY LINE
— (solid line)	CIVIL LIMIT OF WORK
— (solid line)	DRAINAGE AREA
— (solid line) 262	PROPOSED CONTOUR ELEVATION
— (solid line) 262	EXISTING CONTOUR ELEVATION
— (thick solid line) SD SD	PROPOSED STORM DRAIN LINE
— (solid line) GB GB	PROPOSED RIDGE LINE

- ① PROPOSED 12" HDPE STORM DRAIN LINE.
- ② PROPOSED CATCH BASIN AND LOCAL DEPRESSION PER SPPWC 300-3.
- ③ PROPOSED UNDERGROUND DETENTION BASIN.
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- ⑤ PROPOSED RECESSED TRUCK DOCK PER ARCHITECTURAL PLANS.
- ⑥ PROPOSED RETAINING WALL.
- ⑦ PROPOSED MODULAR WETLANDS SYSTEM.
- ⑧ PROPOSED TRENCH DRAIN. REFER TO MEP PLANS FOR DETAILS.
- ⑨ NOT USED
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CONTRACTOR TO VERIFY STORM DRAIN CONNECTION POINTS
PRIOR TO INSTALLING STORM DRAIN LINES AND STRUCTURES.

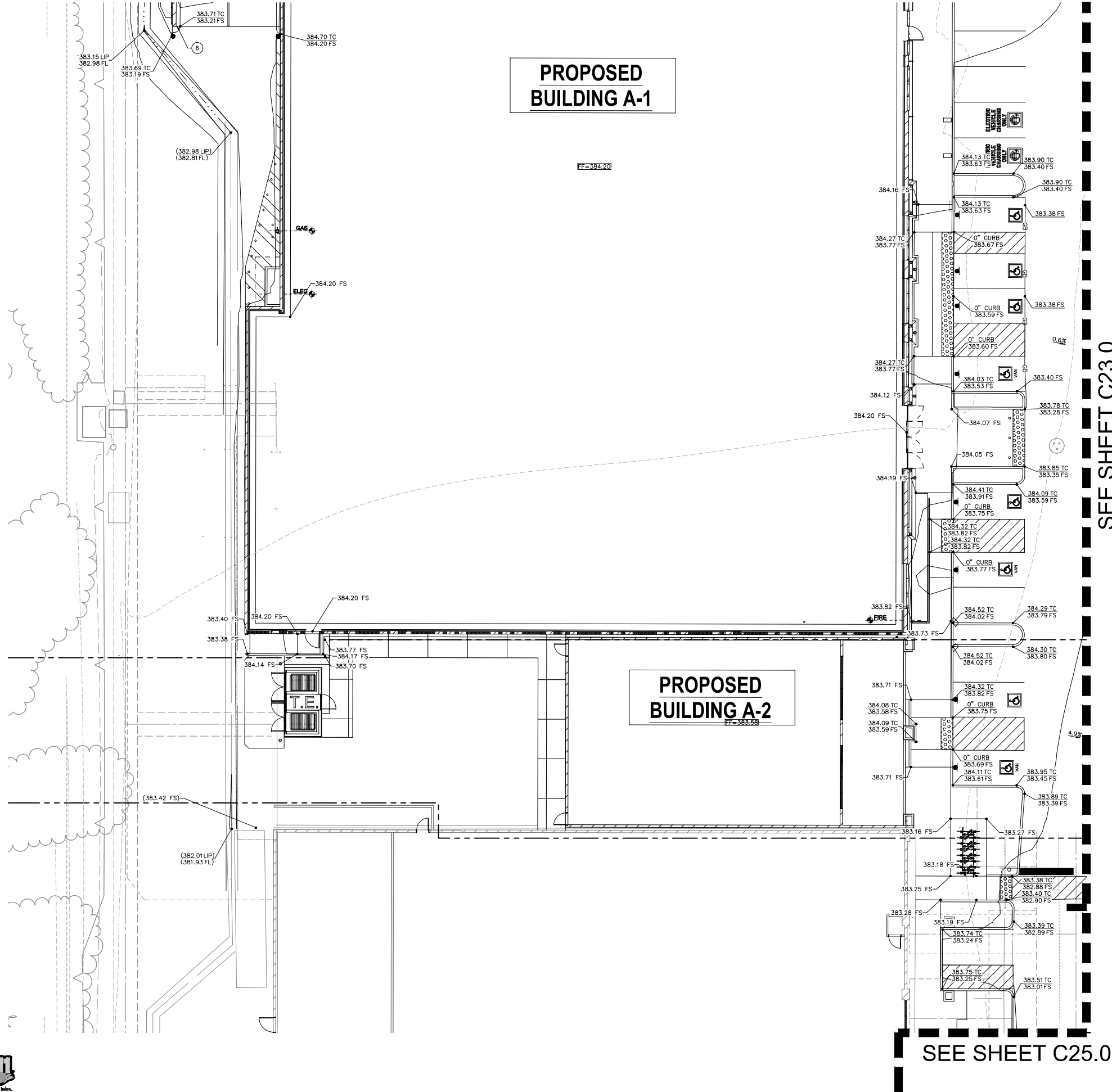


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GRADING LEGEND

---	PROPERTY LINE
---	CIVIL LIMIT OF WORK
---	DRAINAGE AREA
---	PROPOSED CONTOUR ELEVATION
---	EXISTING CONTOUR ELEVATION
---	PROPOSED STORM DRAIN LINE
---	PROPOSED RIDGE LINE

GRADING AND DRAINAGE NOTES

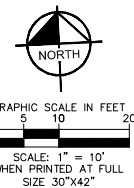
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- PROPOSED ROOF DRAIN LATERAL.

PAVING, GRADING, AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR SPPWS SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND REPAIRED TO EXISTING CONDITION OR BETTER.
- TRAFFIC CONTROL ON ALL CALTRANS, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED IN THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED IN THE DRAWINGS.
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- STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY, AND PER THE PROJECT SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE STABILIZED BY MEANS AND METHODS APPROVED BY THE LOCAL AGENCY. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE COVERED WITH ROCK OR MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE GOVERNING CODE.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE REQUIRED PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY GOVERNING JURISDICTIONS.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2.0% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES UNLESS OTHERWISE NOTED.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- THE CONTRACTOR SHALL ENSURE THE PROPOSED PAVED AREAS MATCH THE EXISTING DRAINAGE PATTERN AND DRAIN AWAY FROM THE BUILDING AS INDICATED IN THE PLANS.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.

NOTE:

CONTRACTOR TO VERIFY STORM DRAIN CONNECTION POINTS PRIOR TO INSTALLING STORM DRAIN LINES AND STRUCTURES.



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**A MILAN CAPITAL
MANAGEMENT, INC.
PROJECT**

**LAGUNA HILLS PLAZA
IMPROVEMENT
LANDLORD IMPROVEMENT**
24799 ALICIA PARKWAY
LAGUNA HILLS, CA 92653

**GRADING AND
DRAINAGE PLAN 3**

Project Number: XXXX-000
Plan Check Number: XXXXX

XXXXX2021 INITIAL SUBMITTAL



C22.0

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Know what's below.
Call 811 before you dig.

Know what's below.
Call 811 before you dig.

75

SEE SHEET C25.0

PROPERTY LINE

CIVIL LIMIT OF WORK

DRAINAGE AREA

262 PROPOSED CONTOUR ELEVATION

262 EXISTING CONTOUR ELEVATION

SD PROPOSED STORM DRAIN LINE

GB PROPOSED RIDGE LINE

- ① PROPOSED 12" HDPE STORM DRAIN LINE.
- ② PROPOSED CATCH BASIN AND LOCAL DEPRESSION PER SPPWC 300-3.
- ③ PROPOSED UNDERGROUND DETENTION BASIN.
- ④ CONNECT TO EXISTING STORM DRAIN SYSTEM.
- ⑤ PROPOSED RECESSED TRUCK DOCK PER ARCHITECTURAL PLANS.
- ⑥ PROPOSED RETAINING WALL.
- ⑦ PROPOSED MODULAR WETLANDS SYSTEM.
- ⑧ PROPOSED TRENCH DRAIN. REFER TO MEP PLANS FOR DETAILS.
- ⑨ NOT USED
- ⑩ PROPOSED 8" HDPE STORM DRAIN LINE.
- ⑪ PROPOSED ROOF DRAIN LATERAL.

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKSMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR SPWFS SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND REPAIRED TO EXISTING CONDITION OR BETTER.
3. TRAFFIC CONTROL ON ALL CALTRANS, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S.DOT/FHWA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.
5. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED IN THE DRAWINGS.
6. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED IN THE DRAWINGS.
7. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
8. IF DETOURING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
9. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
10. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY, AND PER THE PROJECT SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
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15. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
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17. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
18. THE CONTRACTOR SHALL ENSURE THE PROPOSED PAVED AREAS MATCH THE EXISTING DRAINAGE PATTERN AND DRAIN AWAY FROM THE BUILDING AS INDICATED IN THE PLANS.
19. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. THE DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.

CONTRACTOR TO VERIFY STORM DRAIN CONNECTION POINTS
PRIOR TO INSTALLING STORM DRAIN LINES AND STRUCTURES

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GRADING AND DRAINAGE PLAN 4

Project Number: XXXX-XXX
Plan Check Number: XXXXX
XX/XX/2021 INITIAL SUBMITTAL

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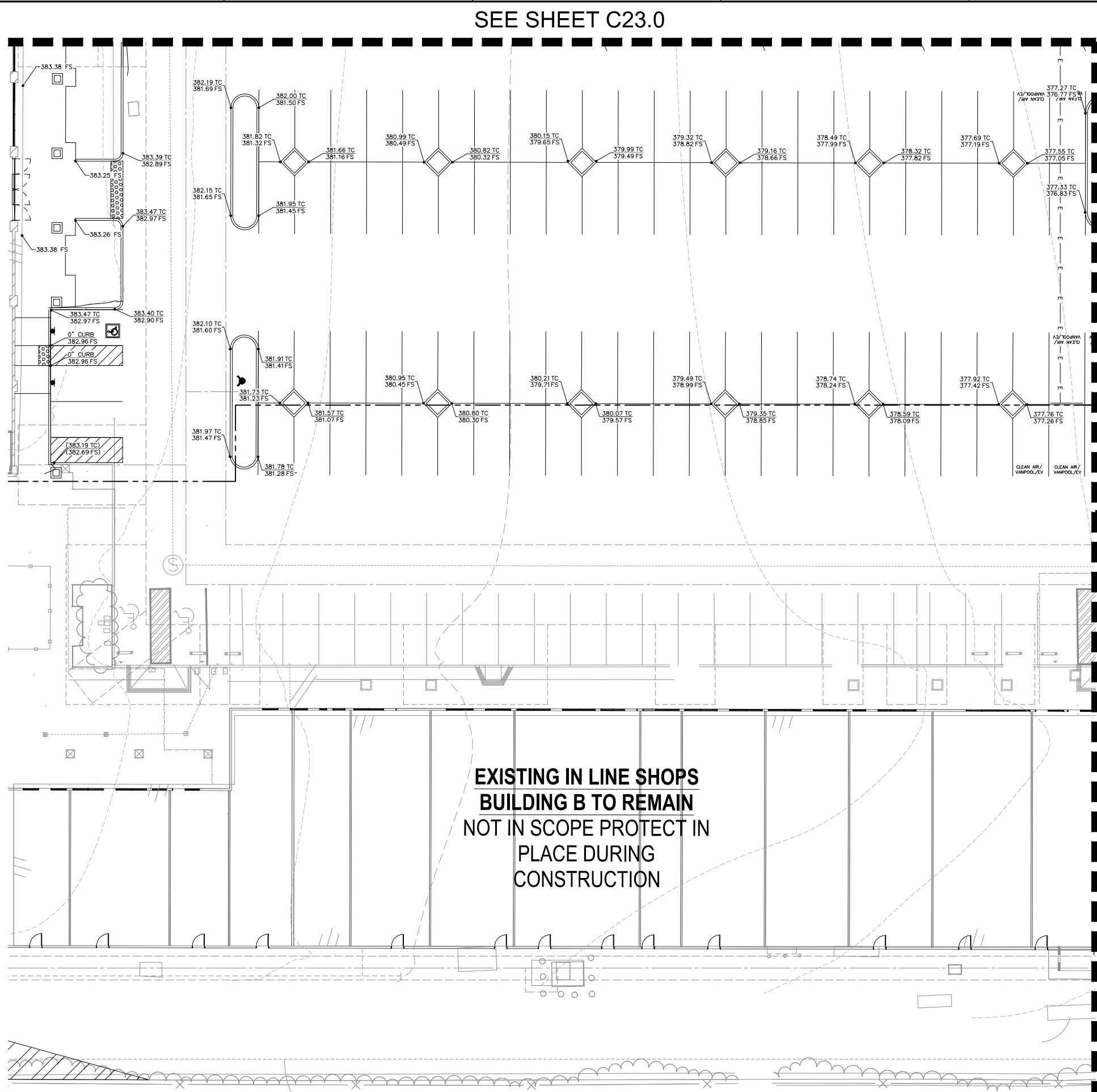
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GRAPHIC SCALE IN FEET
0 5 10 20
SCALE: 1" = 10'
WHEN PRINTED AT FULL
SIZE 30"x42"



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Revised: 1st Review: May/2022 11:05 AM by Ryan Alvarez
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GRADING LEGEND

---	PROPERTY LINE
---	CIVIL LIMIT OF WORK
---	DRAINAGE AREA
---	PROPOSED CONTOUR ELEVATION
---	EXISTING CONTOUR ELEVATION
---	PROPOSED STORM DRAIN LINE
---	PROPOSED RIDGE LINE

GRADING AND DRAINAGE NOTES

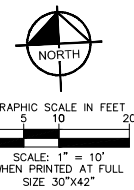
1. PROPOSED STORM DRAIN LINE.
2. PROPOSED CATCH BASIN AND LOCAL DEPRESSION.
3. PROPOSED UNDERGROUND DETENTION BASIN.
4. CONNECT TO EXISTING STORM DRAIN SYSTEM.
5. PROPOSED RECESSED TRUCK DOCK PER ARCHITECTURAL PLANS.
6. PROPOSED RETAINING WALL.
7. PROPOSED MODULAR WETLANDS SYSTEM.
8. PROPOSED TRENCH DRAIN PER SHEET C19.0 WITH SUMP PUMP. REFER TO MEP PLANS FOR SUMP PUMP DETAILS.
9. PROPOSED STORM DRAIN GRATE INLET.
10. PROPOSED 8" HDPE STORM DRAIN LINE.
11. PROPOSED ROOF DRAIN LATERAL.

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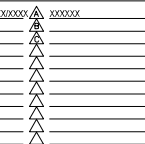
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PROJECT

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GRADING AND
DRAINAGE PLAN 6

Project Number: XXXX000
Plan Check Number: XXXXX

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