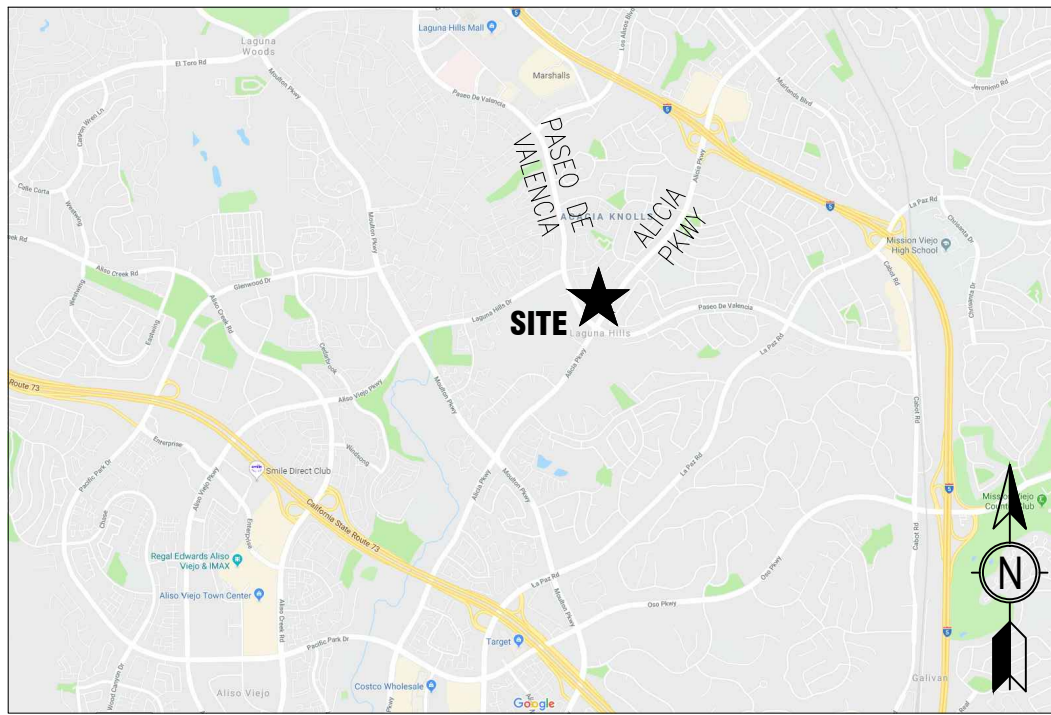


CIRCLE K STORE
SITE PLAN

NWC PASEO DE VALENCIA & ALICIA PKWY, LAGUNA HILLS, CA



VICINITY MAP

OWNER:
CIRCLE K STORES INC.
255 E. RINCON STREET, SUITE 100
CORONA, CALIFORNIA 92679

OWNER REPRESENTATIVE:
LAND DEVELOPMENT CONSULTANTS, LLC
3281 EAST GUASTI ROAD, SUITE 700
ONTARIO, CA 91761
PHONE: (909) 974 - 8422
CONTACT: WILLIAM SCARBROUGH

ARCHITECT :
GREENBERG FARROW
30 EXECUTIVE PARK, SUITE 100
IRVINE, CA 92614
PHONE: (949) 296-0450
FAX: (949) 296-0479
CONTACT: DOUG COUPER

PROJECT INFORMATION

PROJECT NAME: CIRCLE K CONVENIENCE STORE
PROJECT ADDRESS: NWC PASEO DE VALENCIA & ALICIA PKWY, LAGUNA HILLS, CA
PROJECT DESCRIPTION: PROPOSAL FOR A NEW CONVENIENCE STORE WITH ASSOCIATED FUEL SALES CONSISTING OF A 5,200 S.F. CONVENIENCE STORE AND A FUEL CANOPY WITH 5 FUEL PUMPS

ZONING INFORMATION

JURISDICTION: LAGUNA HILLS, CA
EXISTING ZONING: CC (COMMUNITY COMMERCIAL)
PROPOSED ZONING: CC (COMMUNITY COMMERCIAL)
MAX. BLDG HEIGHT ALLOWED: 40' BLDG HEIGHT PROVIDED: 23'-8"
BUILDING SETBACKS: FRONT: 20' SIDE/INTERIOR: 10' STREET SIDE: 15' REAR: 15'

SITE DATA

PARCEL: APN 620-241-02
CIRCLE K NET SITE AREA: ±0.886 AC (± 38,603 SF)
STREET DEDICATION: ±0.014 AC (± 601 SF)
CIRCLE K GROSS SITE AREA: ±0.900 AC (± 39,204 SF)

BUILDING AREA

CONVENIENCE STORE BLDG AREA 5,200 SF
FUEL CANOPY AREA 2,904 SF
CIRCLE K SITE COVERAGE (BASED ON 8,104 SF BLDG AREA AND ±0.886 AC OF NET SITE AREA) ±21% (9,147 SF/AC)

PARKING REQUIREMENTS

CIRCLE K PARKING REQUIRED
CONVENIENCE STORE: 1 SP/800 SF 7 SP
GAS STATION: 2 SPACES 2 SP
TOTAL CIRCLE K PARKING REQUIRED 9 SP

CIRCLE K PARKING PROVIDED
STANDARD PARKING SPACES 14 SP
ACCESSIBLE PARKING SPACES 1 + 1 SP
TOTAL CIRCLE K PARKING PROVIDED 16 SP

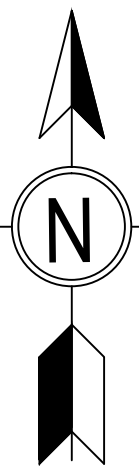
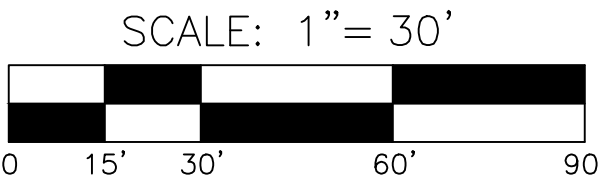
BICYCLE PARKING PROVIDED 2 SP

LOADING REQUIREMENTS

PER LAGUNA HILLS MUNICIPAL CODE SECTION 9-44.060 LOADING IS NOT REQUIRED FOR LESS THAN 10,000 SF OF BUILDING AREA.

GENERAL NOTES

- THIS IS A CONCEPTUAL SITE PLAN AND IS FOR PLANNING PURPOSES ONLY.
- THIS SITE PLAN IS BASED ON A CAD FILE OF THE ALTA SURVEY PREPARED BY BASE CONSULTING GROUP, INC. DATED 02/21/2020, AND AN AERIAL.



30 Executive Park, Suite 100
Irvine, CA 92614

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04/28/22	PREP SP-15
06/20/22	PREP SP-16
07/21/22	NEW SIGNS NOTATION
01/23/23	ADDED NOTES

PROFESSIONAL IN CHARGE
ARCH PROF IN CHARGE
DOUGLAS S. COUPER

PROJECT MANAGER
DC/II

QUALITY CONTROL

DRAWN BY
JN

PROJECT NAME

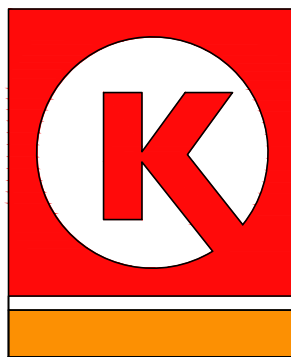
**CIRCLE K
STORE #**

LAGUNA HILLS

**CALIFORNIA
NWC PASEO DE VALENCIA
& ALICIA PKWY**



LAND DEVELOPMENT
CONSULTANTS, LLC
3281 EAST GUASTI ROAD #700
ONTARIO, CA 91761



CIRCLE K STORES INC.

PROJECT NUMBER
20190910.0

SHEET TITLE

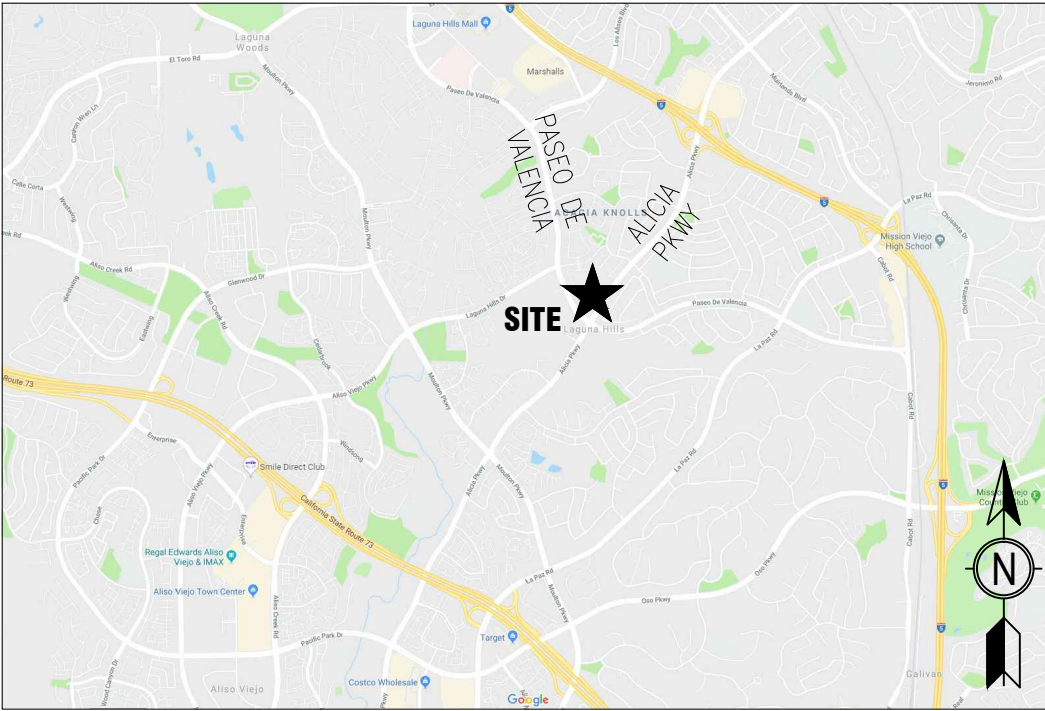
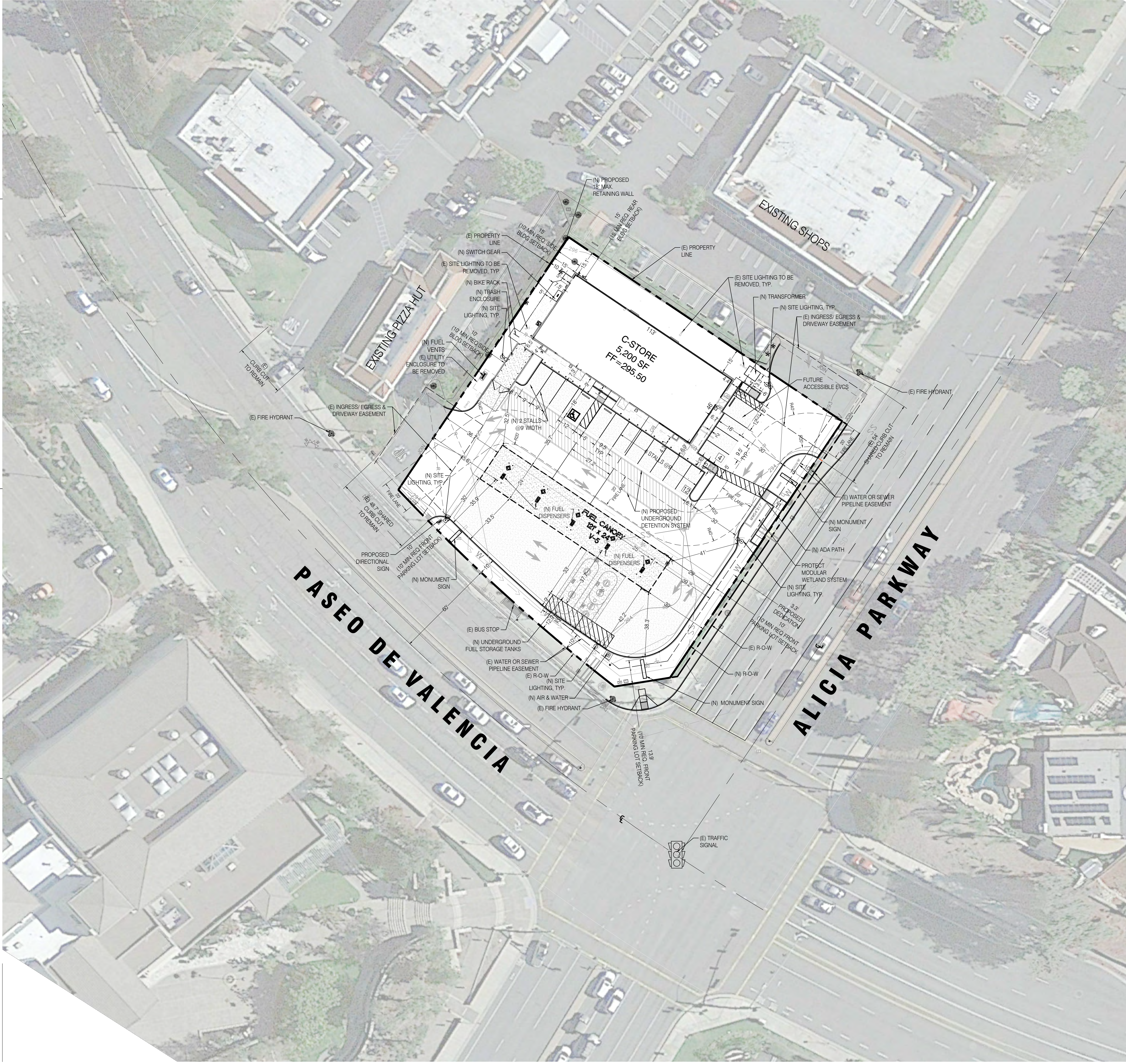
SITE PLAN

SHEET NUMBER

SP-16.0W

CIRCLE K STORE
SITE PLAN

NWC PASEO DE VALENCIA & ALICIA PKWY, LAGUNA HILLS, CA



VICINITY MAP

OWNER:
CIRCLE K STORES INC.
255 E. RINCON STREET, SUITE 100
CORONA, CALIFORNIA 92679

OWNER REPRESENTATIVE:
LAND DEVELOPMENT CONSULTANTS, LLC
3281 EAST GUASTI ROAD, SUITE 700
ONTARIO, CA 91761
PHONE: (909) 974 - 8422
CONTACT: WILLIAM SCARBROUGH

ARCHITECT :
GREENBERG FARROW
30 EXECUTIVE PARK, SUITE 100
IRVINE, CA 92614
PHONE: (949) 296-0450
FAX: (949) 296-0479
CONTACT: DOUG COUPER

PROJECT INFORMATION

PROJECT NAME: CIRCLE K CONVENIENCE STORE
PROJECT ADDRESS: NWC PASEO DE VALENCIA & ALICIA PKWY, LAGUNA HILLS, CA
PROJECT DESCRIPTION: PROPOSAL FOR A NEW CONVENIENCE STORE WITH ASSOCIATED FUEL SALES CONSISTING OF A 5,200 S.F. CONVENIENCE STORE AND A FUEL CANOPY WITH 5 FUEL PUMPS

ZONING INFORMATION

JURISDICTION: LAGUNA HILLS, CA
EXISTING ZONING: CC (COMMUNITY COMMERCIAL)
PROPOSED ZONING: CC (COMMUNITY COMMERCIAL)
MAX. BLDG HEIGHT ALLOWED: 40'
BLDG HEIGHT PROVIDED: 23'-8"
BUILDING SETBACKS: FRONT: 20' SIDE/INTERIOR: 10' STREET SIDE: 15' REAR: 15'

SITE DATA

PARCEL: APN 620-241-02
CIRCLE K NET SITE AREA: ±0.886 AC (± 38,603 SF)
STREET DEDICATION: ±0.014 AC (± 601 SF)
CIRCLE K GROSS SITE AREA: ±0.900 AC (± 39,204 SF)

BUILDING AREA

CONVENIENCE STORE BLDG AREA 5,200 SF
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CIRCLE K SITE COVERAGE ±21% (9,147 SF/AC)
(BASED ON 8,104 SF BLDG AREA AND ±0.886 AC OF NET SITE AREA)

PARKING REQUIREMENTS

CIRCLE K PARKING REQUIRED
CONVENIENCE STORE: 1 SP/800 SF 7 SP
GAS STATION: 2 SPACES 2 SP
TOTAL CIRCLE K PARKING REQUIRED 9 SP

CIRCLE K PARKING PROVIDED
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ACCESSIBLE PARKING SPACES 1 + 1 SP
TOTAL CIRCLE K PARKING PROVIDED 16 SP

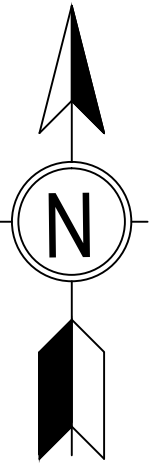
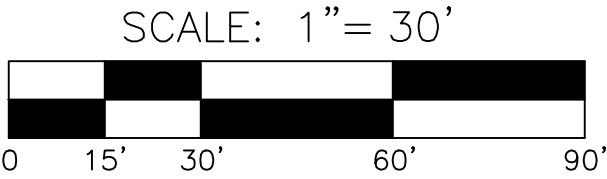
BICYCLE PARKING PROVIDED 2 SP

LOADING REQUIREMENTS

PER LAGUNA HILLS MUNICIPAL CODE SECTION 9-44.060 LOADING IS NOT REQUIRED FOR LESS THAN 10,000 SF OF BUILDING AREA.

GENERAL NOTES

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01/23/23	ADDED NOTES

PROFESSIONAL IN CHARGE
ARCH PROF IN CHARGE
DOUGLAS S. COUPER

PROJECT MANAGER
DC/II
QUALITY CONTROL

DRAWN BY
JN

PROJECT NAME
CIRCLE K
STORE #

LAGUNA HILLS

CALIFORNIA
NWC PASEO DE VALENCIA
& ALICIA PKWY



LAND DEVELOPMENT
CONSULTANTS, LLC
3281 EAST GUASTI ROAD #700
ONTARIO, CA 91761



CIRCLE K STORES INC.

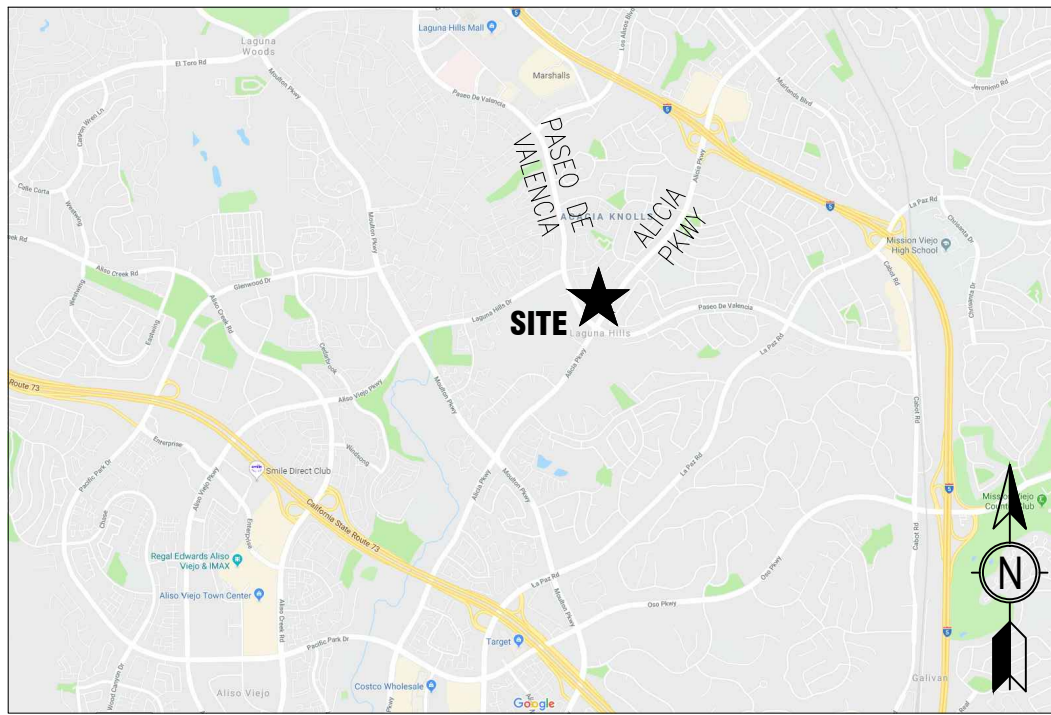
PROJECT NUMBER
20190910.0

SHEET TITLE
SITE PLAN

SHEET NUMBER
SP-16.0A

CIRCLE K STORE SITE PLAN

NWC PASEO DE VALENCIA & ALICIA PKWY, LAGUNA HILLS, CA



VICINITY MAP

OWNER:

CIRCLE K STORES INC.
255 E. RINCON STREET, SUITE 100
CORONA, CALIFORNIA 92679

OWNER REPRESENTATIVE:

LAND DEVELOPMENT CONSULTANTS, LLC
3281 EAST GUASTI ROAD, SUITE 700
ONTARIO, CA 91761
PHONE: (909) 974 - 8422
CONTACT: WILLIAM SCARBROUGH

ARCHITECT :

GREENBERG FARROW
30 EXECUTIVE PARK, SUITE 100
IRVINE, CA 92614
PHONE: (949) 296-0450
FAX: (949) 296-0479
CONTACT: DOUG COUPER

PROJECT INFORMATION

PROJECT NAME: CIRCLE K CONVENIENCE STORE
PROJECT ADDRESS: NWC PASEO DE VALENCIA & ALICIA PKWY, LAGUNA HILLS, CA
PROJECT DESCRIPTION: PROPOSAL FOR A NEW CONVENIENCE STORE WITH ASSOCIATED FUEL SALES CONSISTING OF A 5,200 S.F. CONVENIENCE STORE AND A FUEL CANOPY WITH 5 FUEL PUMPS

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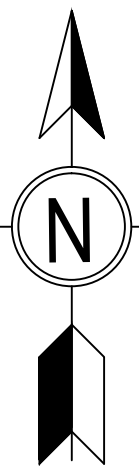
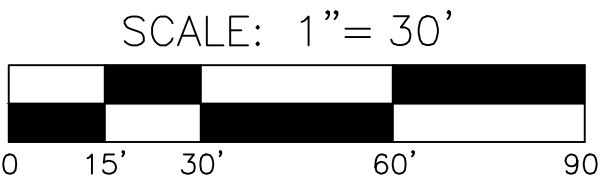
BICYCLE PARKING PROVIDED 2 SP

LOADING REQUIREMENTS

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07/21/22	NEW SIGNS NOTATION
01/23/23	ADDED NOTES

PROFESSIONAL IN CHARGE
ARCH PROF IN CHARGE
DOUGLAS S. COUPER

PROJECT MANAGER
DC/II

QUALITY CONTROL

DRAWN BY
JN

PROJECT NAME

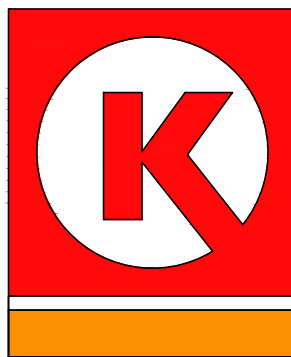
CIRCLE K
STORE #

LAGUNA HILLS

CALIFORNIA
NWC PASEO DE VALENCIA
& ALICIA PKWY



LAND DEVELOPMENT
CONSULTANTS, LLC
3281 EAST GUASTI ROAD #700
ONTARIO, CA 91761



CIRCLE K STORES INC.

PROJECT NUMBER
20190910.0

SHEET TITLE

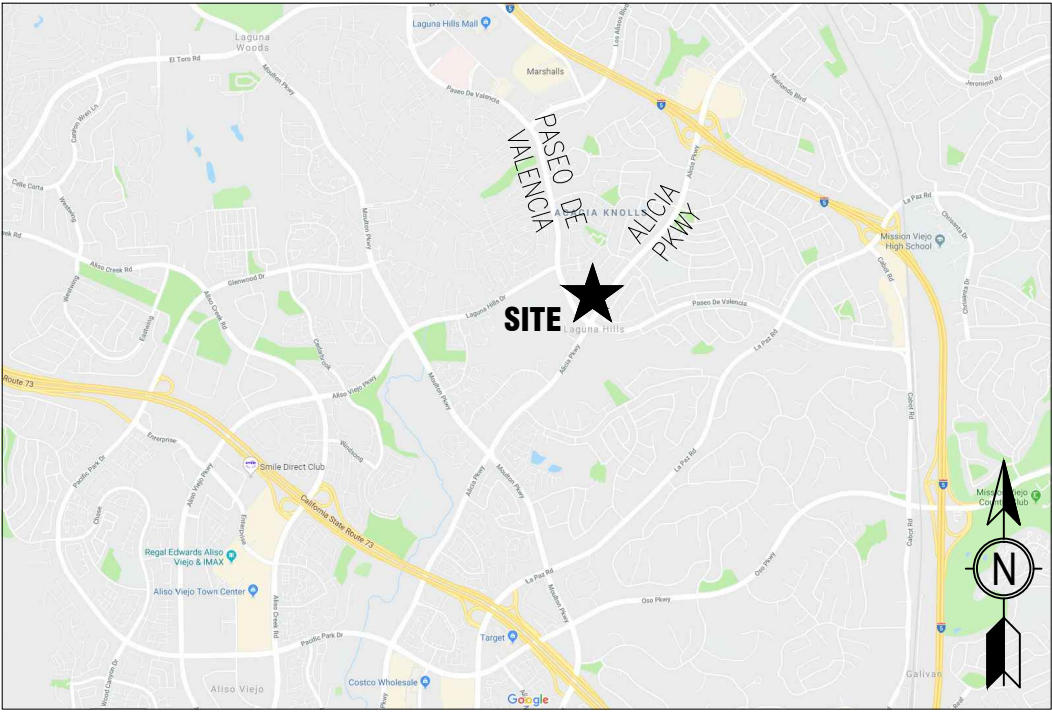
SITE PLAN

SHEET NUMBER

SP-16.0TT

CIRCLE K STORE
SITE PLAN

NWC PASEO DE VALENCIA & ALICIA PKWY, LAGUNA HILLS, CA



VICINITY MAP

OWNER:
CIRCLE K STORES INC.
255 E. RINCON STREET, SUITE 100
CORONA, CALIFORNIA 92679

OWNER REPRESENTATIVE:
LAND DEVELOPMENT CONSULTANTS, LLC
3281 EAST GUASTI ROAD, SUITE 700
ONTARIO, CA 91761
PHONE: (909) 974 - 8422
CONTACT: WILLIAM SCARBROUGH

ARCHITECT :
GREENBERG FARROW
30 EXECUTIVE PARK, SUITE 100
IRVINE, CA 92614
PHONE: (949) 296-0450
FAX: (949) 296-0479
CONTACT: DOUG COUPER

PROJECT INFORMATION

PROJECT NAME: CIRCLE K CONVENIENCE STORE
PROJECT ADDRESS: NWC PASEO DE VALENCIA & ALICIA PKWY, LAGUNA HILLS, CA
PROJECT DESCRIPTION: PROPOSAL FOR A NEW CONVENIENCE STORE WITH ASSOCIATED FUEL SALES CONSISTING OF A 5,200 S.F. CONVENIENCE STORE AND A FUEL CANOPY WITH 5 FUEL PUMPS

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PROPOSED ZONING: CC (COMMUNITY COMMERCIAL)
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(BASED ON 8,104 SF BLDG AREA AND ±0.886 AC OF NET SITE AREA)

PARKING REQUIREMENTS

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TOTAL CIRCLE K PARKING REQUIRED 9 SP

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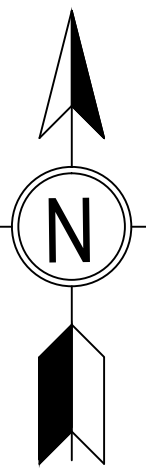
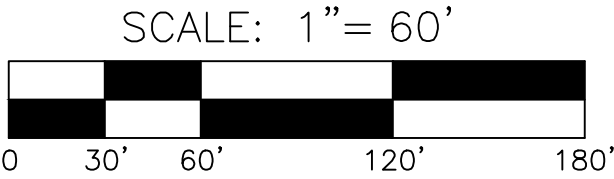
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01/23/23	ADDED NOTES

PROFESSIONAL IN CHARGE
ARCH PROF IN CHARGE
DOUGLAS S. COUPER

PROJECT MANAGER
DC/II

QUALITY CONTROL

DRAWN BY
JN

PROJECT NAME

**CIRCLE K
STORE #**

LAGUNA HILLS

**CALIFORNIA
NWC PASEO DE VALENCIA
& ALICIA PKWY**



LAND DEVELOPMENT
CONSULTANTS, LLC
3281 EAST GUASTI ROAD #700
ONTARIO, CA 91761



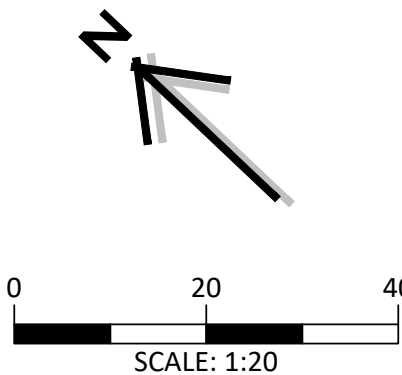
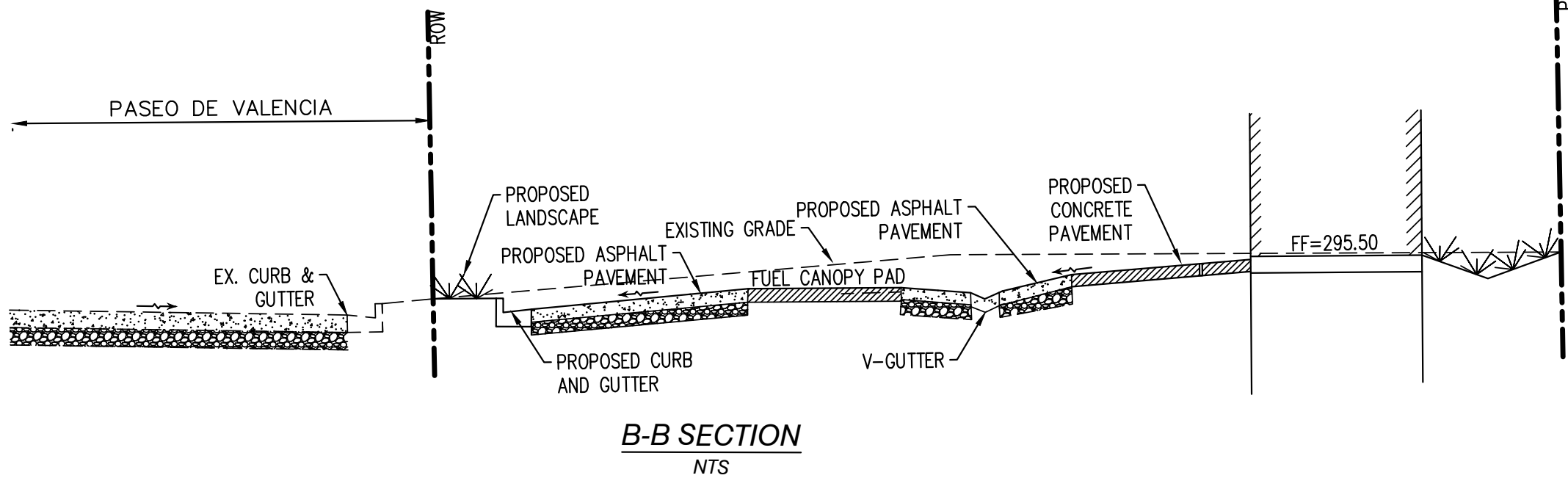
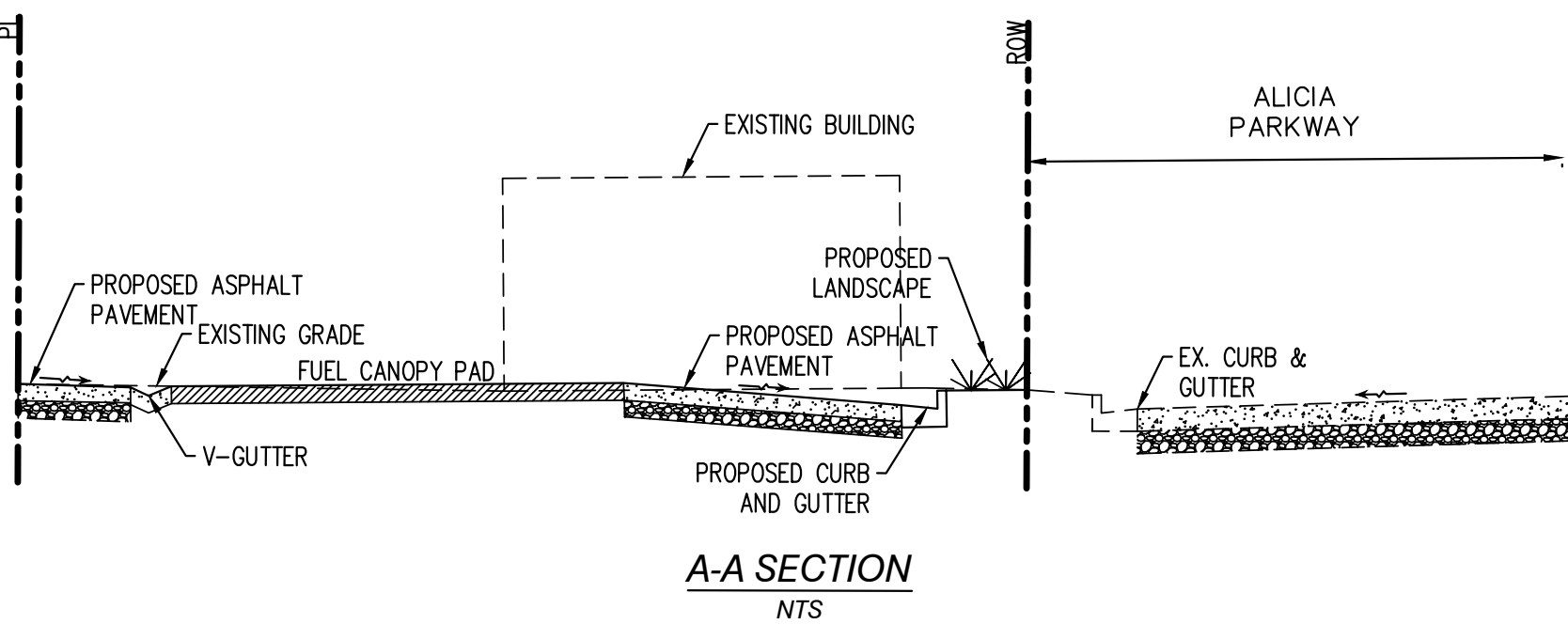
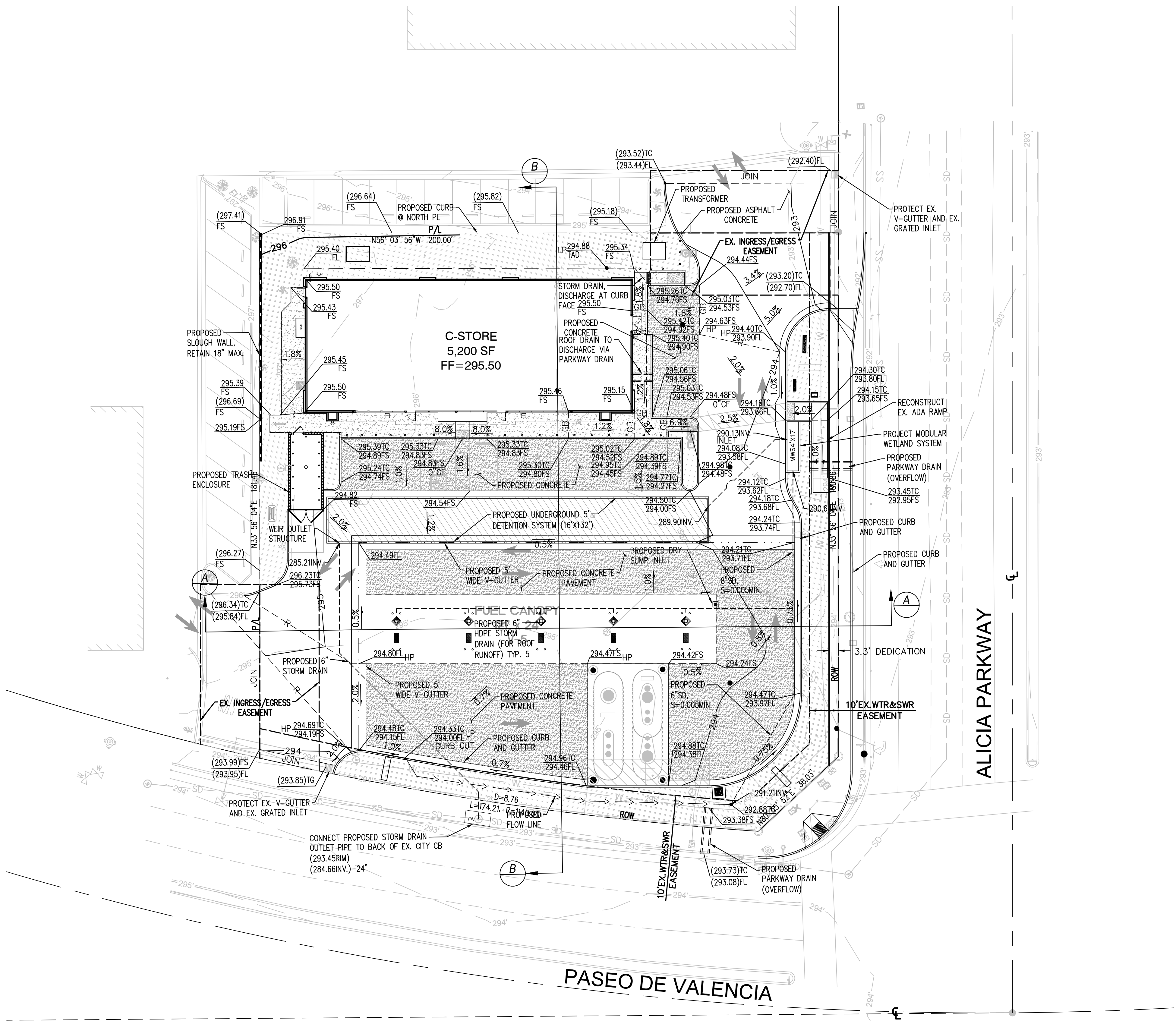
CIRCLE K STORES INC.

PROJECT NUMBER
20190910.0

SHEET TITLE
SITE PLAN

SHEET NUMBER

SP-16.0



OWNER

CIRCLE K STORES INC.
255 E. RINCON STREET, SUITE 100
CORONA, CALIFORNIA 92879

CIVIL ENGINEER

C3 CIVIL ENGINEERING, LLC
10870 W. FAIRVIEW AVE., STE 102-1187
BOISE, IDAHO 83713
(949) 939-332
CONTACT: THOMAS HAWKSWORTH, PE

ARCHITECT

GREENBERG FARROW
1900 MACARTHUR BLVD., SUITE 250
IRVINE, CA 92612
(949) 296-0450
CONTACT: DOUG COUPER

SOILS ENGINEER

MOORE TWINING AND ASSOCIATES
2527 FRESNO ST.
FRESNO, CA. 93721
PROJECT #G71516.0, REPORT DATE: 03/30/2020
(559) 268-7021
CONTACT: SCOTT KRAUTER, PE

SURVEY:

THE EXISTING TOPOGRAPHY AND BOUNDARY WAS PROVIDED BY BASE CONSULTING GROUP FROM THEIR ALTA SURVEY DATED 02/21/20.

PROJECT ADDRESS:

NWC PASO DE VALENCIA AND ALICIA PARKWAY, LAGUNA HILLS, CA.

SITE AREA:

THE LAND AREA OF THE SUBJECT PROPERTY IS:
GROSS: .0900 ACRES, 39,204 SQUARE FEET

BUILDING AREA:

CONVENIENCE STORE BUILDING AREA: 5,200 SF
FUEL CANOPY AREA: 2,904 SF

ZONING INFORMATION:

ZONE: CC (COMMUNITY COMMERCIAL)

FRONT - 20 FT
SIDE/INTERIOR - 10 FT
SIDE/ STREET - 15'
REAR -15 FEET

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LAGUNA HILLS, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

LOT 2 OF TRACT NO. 8091, IN THE CITY OF LAGUNA HILLS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 325 PAGES 38 AND 39 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM 50% OF ALL RIGHTS TO OIL, GAS, AND OTHER HYDROCARBON AND MINERALS SUBSTANCES LYING UNDER OR THAT MAY BE PRODUCED FROM THE ABOVE-DESCRIBED LAND, TOGETHER WITH 50% OF ALL RIGHTS TO THE PROCEEDS THEREFROM AND 50% OF ALL RENTS, BONUSES AND PROFITS ACCRUING THEREIN; PROVIDED, HOWEVER, THAT GRANTOR WAIVES AND RELINQUISHES THE RIGHT TO USE OR OCCUPY OR TO ENTER UPON ANY PORTION OF THE SURFACE AND 500 FEET BELOW THE SURFACE, MEASURED VERTICALLY FROM THE SURFACE OF SAID LAND, FOR THE PURPOSE OF DRILLING FOR, CAPTURING, PRODUCING, EXTRACTING, STORING, TREATING OR OTHERWISE HANDLING OR UTILIZING SUCH OIL, GAS, OR OTHER HYDROCARBON OR MINERAL SUBSTANCES OR FOR THE PURPOSE OF EXERCISING GRANTOR'S RIGHTS THERETO, AS RESERVED IN DEED FROM FIRST WESTERN BANK AS TRUST COMPANY, A CORPORATION, RECORDED JULY 18, 1967 IN BOOK 8314 PAGE 98 OF OFFICIAL RECORDS.

PARCEL B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND DRIVEWAY PURPOSES FOR USE BY THE GENERAL PUBLIC OVER THAT PORTION OF LOT 1 OF TRACT NO. 8091, IN THE CITY OF LAGUNA HILLS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 325 PAGES 38 AND 39 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WESTERLY LINE OF LOT 2 AND THE NORTHERLY RIGHT OF WAY LINE OF PASEO DE VALENCIA (120 FEET WIDE), AS SHOWN ON THE MAP OF SAID TRACT; THENCE NORTH 33° 56' 04" EAST, 60 FEET ALONG THE WESTERLY LINE OF SAID LOT 2; THENCE NORTH 56° 03' 56" WEST 20.50 FEET; THENCE SOUTH 33° 56' 04" WEST, IN A DIRECT LINE TO A POINT ON THE SOUTHWESTERLY LINE OF SAID LOT 1; THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF LOT 1 TO THE POINT OF BEGINNING.

PARCEL C:

A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND DRIVEWAY PURPOSES FOR USE BY THE GENERAL PUBLIC OVER THAT PORTION OF LOT 1 OF TRACT NO. 8091, IN THE CITY OF LAGUNA HILLS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 325 PAGES 38 AND 39 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

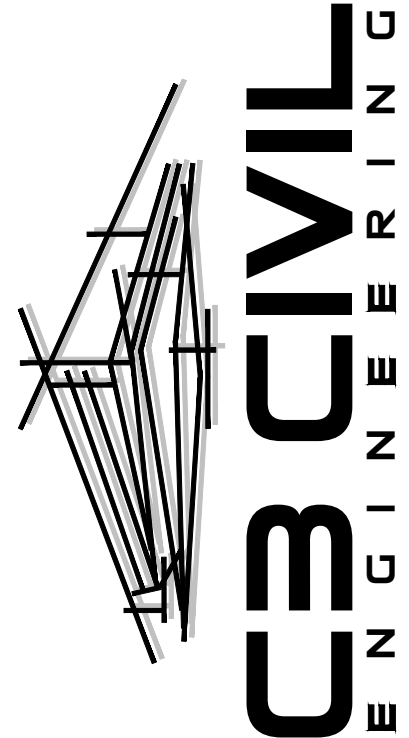
BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF LOT 2 AND THE WESTERLY RIGHT OF WAY LINE OF ALICIA PARKWAY (120 FEET WIDE), AS SHOWN ON THE MAP OF SAID TRACT; THENCE NORTH 56° 03' 56" WEST 65 FEET ALONG THE NORTHEASTERLY LINE OF SAID LOT 2; THENCE NORTH 33° 56' 04" EAST 21.50 FEET; THENCE SOUTH 56° 03' 56" EAST 65 FEET; THENCE SOUTH 33° 56' 04" WEST ALONG THE EASTERLY LINE OF SAID LOT 1, 21.50 FEET, TO THE POINT OF BEGINNING.

APN: 620-241-02
APO:

REVISION RECORD		
#	DATE	DESCRIPTION

CIRCLE K - CONVENIENCE STORE
25491 ALICIA PARKWAY
LAGUNA HILLS, CA 92653

10870 W. FAIRVIEW DR
STE 102-1187
BOISE, ID 83713
(208) 918-0928
thomas@c3civileng.com
www.c3civileng.com



PROFESSIONAL SEAL



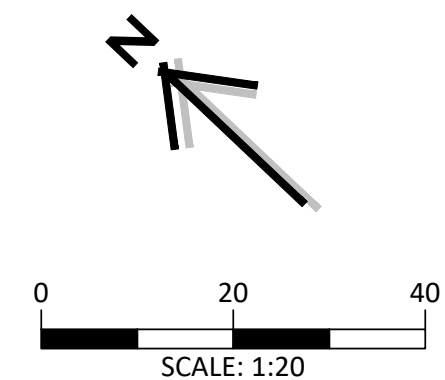
DATE: 1/25/2023
CS JOB NO: 22-009
DRAWN BY: NM
CHECKED BY: TH

SHEET TITLE

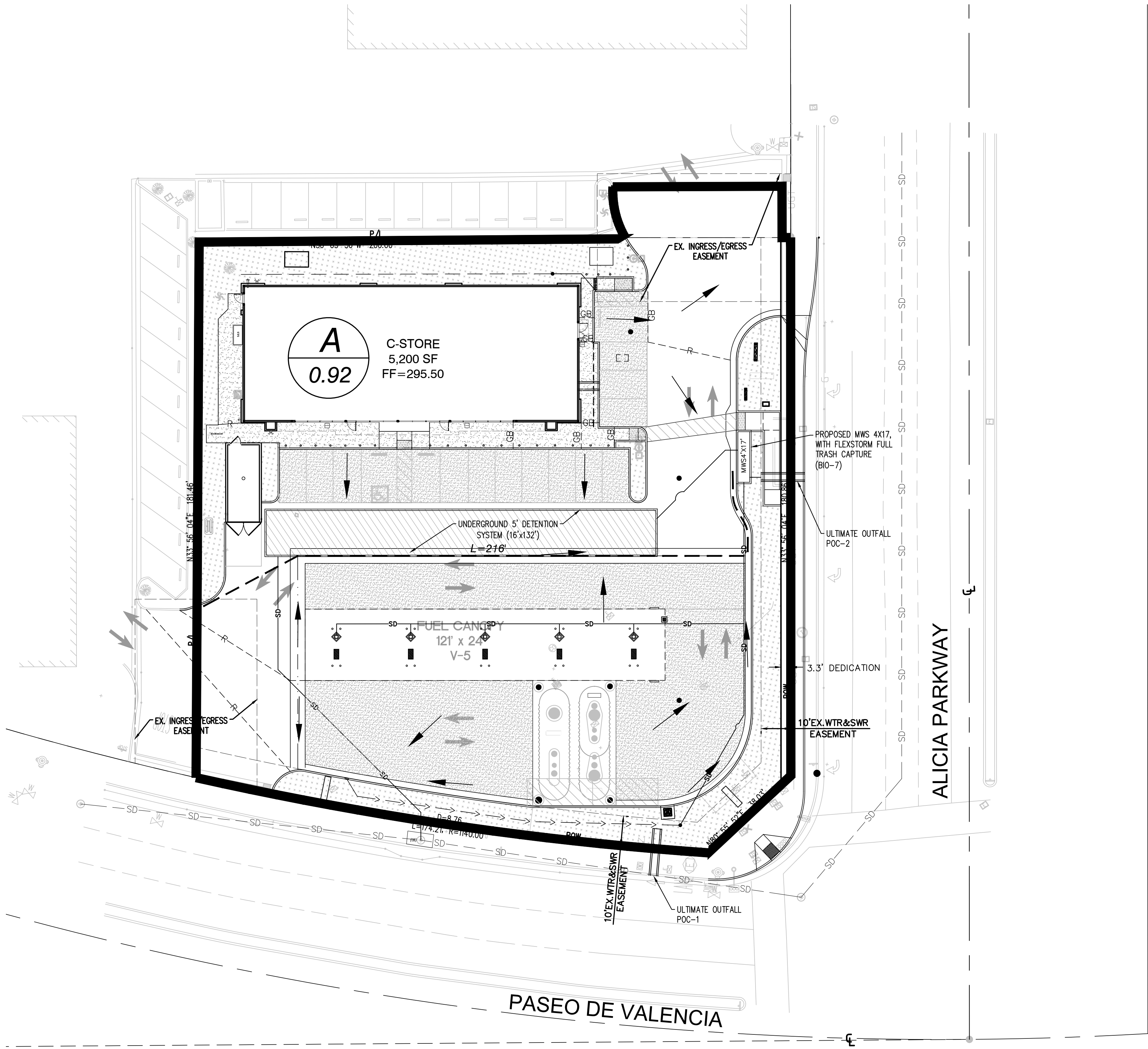
CONCEPTUAL
GRADING
PLAN

SHEET NUMBER

1 of 4



2 of 4



CITY STANDARD CURB MARKER #NDW
3 IN X 5.25 IN ROUNDED CORNER RECTANGLES
(OR CITY APPROVED EQUAL)
INSTALL MARKER AT EVERY CURB ADJACENT TO
INLETS.

STORM DRAIN MARKER
N.T.S.

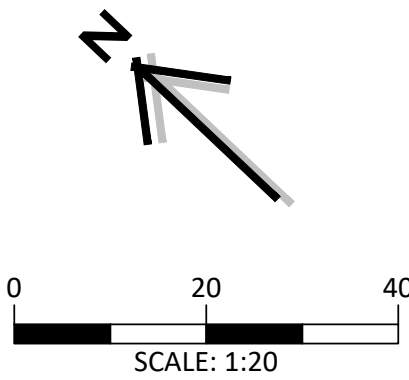
LEGEND

- DRAINAGE AREA
- DRAINAGE CALLOUT
- L** FLOW LENGTH FOR SUBAREA
- H** HEIGHT DIFFERENCE ACROSS SUBAREA
- MWS** MODULAR WETLAND SYSTEM

CALCULATION SUMMARY:

WQMP CALCULATIONS			
AREA ID	AREA (ACRES)	Q _(year) CFS	V _(year) CU.FT
A	0.92	0.19	2,162

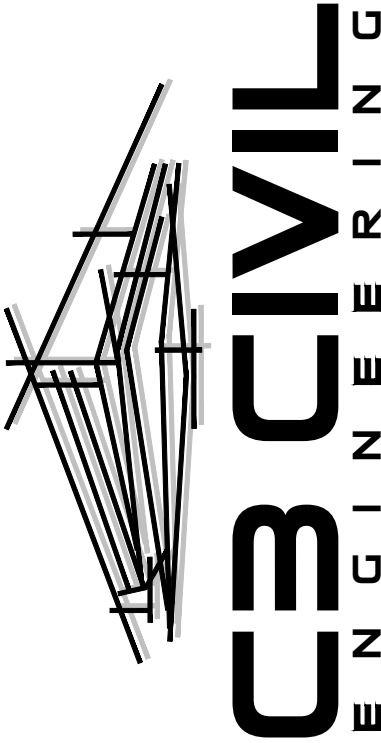
HYDROMODIFICATION			
SITE AREA	0.92 AC	V (CF) REQUIRED 8,842 CU.FT	V(CF) ACTUAL 9,305 CU.FT



REVISION RECORD		
#	DATE	DESCRIPTION

CIRCLE K - CONVENIENCE STORE
25491 ALICIA PARKWAY
LAGUNA HILLS, CA 92653

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DATE: 1/25/2023
CS JOB NO: 22-009
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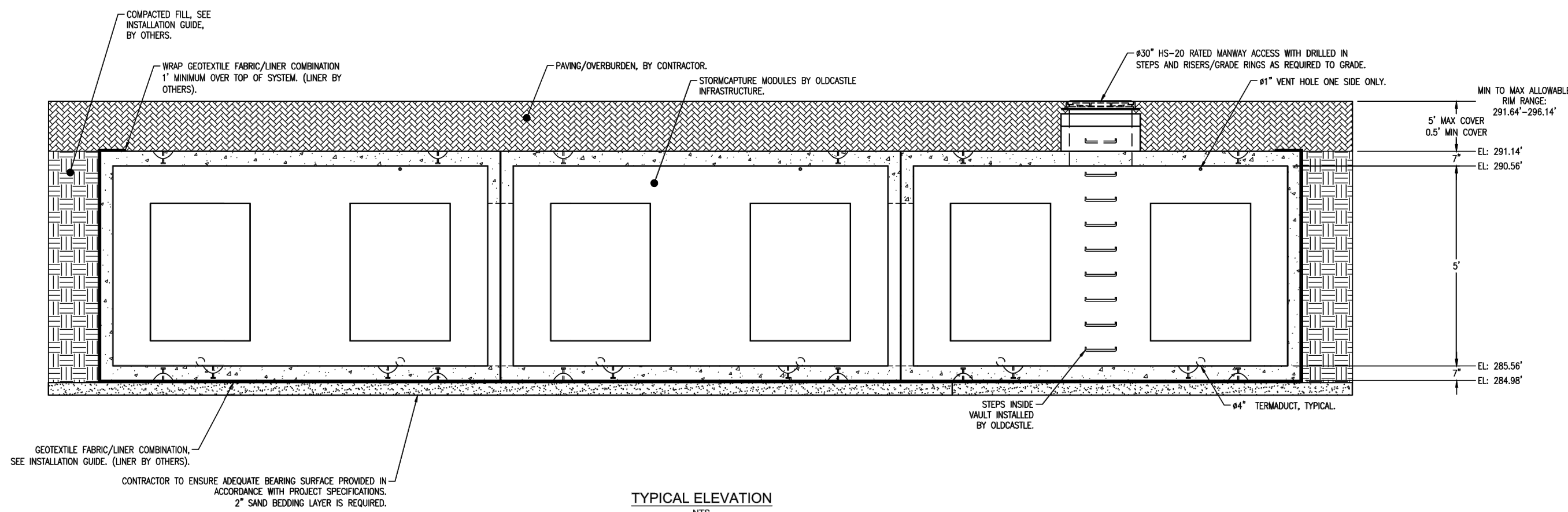
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PRELIMINARY
WQMP
PLAN

SHEET NUMBER

3 of 4

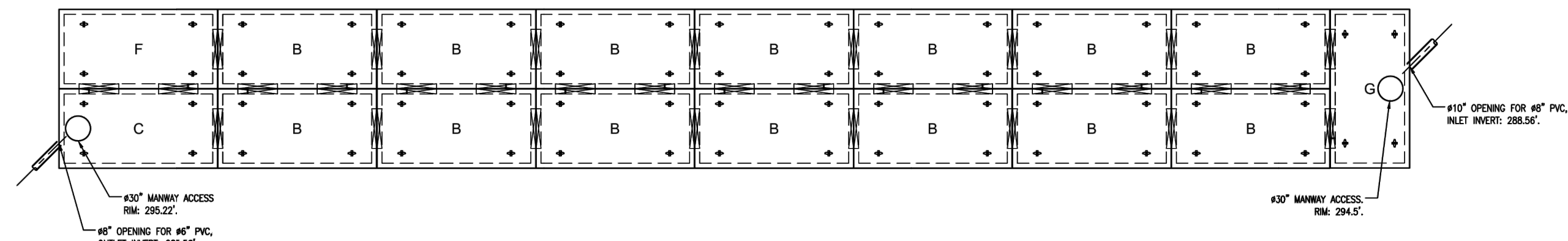
REVIEWING NOTES	
2	THIS SYSTEM HAS BEEN DESIGNED PER THE DESIGN PARAMETERS SPECIFIED IN THE DESIGN NOTES. REVIEWING ENGINEER SHALL VERIFY THAT THESE PARAMETERS MEET OR EXCEED PROJECT SPECIFIC REQUIREMENTS, IF SITE CONDITIONS DIFFER FROM NOTED DESIGN PARAMETERS. REVIEWING ENGINEER SHALL NOTIFY OLCADISTE FOR POTENTIAL REDESIGN AND/OR PRICING ADJUSTMENTS.
3	REVIEWING ENGINEER SHALL VERIFY ALL PIPE PENETRATION LOCATIONS, SIZES, AND INVERTS.
3	REVIEWING ENGINEER SHALL VERIFY ALL MANWAY ACCESS LOCATIONS AND RIM ELEVATIONS.
4	THIS SYSTEM IS DESIGNED FOR A GROUNDWATER TABLE ELEVATION PER NOTE 2C, 2D, 4. REVIEWING ENGINEER SHALL VERIFY THAT THE DESIGN GROUNDWATER ELEVATION MEETS OR EXCEEDS SITE CONDITIONS REQUIREMENTS. NOTIFY OLCADISTE IF SITE CONDITIONS VARY FROM WHAT WAS ASSUMED FOR POTENTIAL SYSTEM DESIGN CHANGES AND/OR PRICING ADJUSTMENTS.



REV	BY	DATE
 Oldcastle Infrastructure A CRH COMPANY		
PO BOX 570338 DALLAS, TX 75257-0338 TEL 972.370.1000 FAX 972.370.1001		
THIS DOCUMENT IS THE PROPERTY OF OLDCASTLE INFRASTRUCTURE, INC. IT IS CONFIDENTIAL. SUBMITTED FOR REFERENCE PURPOSES ONLY AND SHALL BE RETURNED TO THE SUBMITTER IMMEDIATELY UPON REQUEST. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF OLDCASTLE INFRASTRUCTURE, INC. AS SUCH, ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS STRICTLY PROHIBITED.		
STORMCAPTURE® DETENTION SYSTEM FORM 3000 BLUE PINK ENGINEERING 2104 NAME: CIRCLE K - LAQUINA HILLS 01/20/2021 CDH CDH CDH (drawing title) SC1 0-5: DETENTION system d 1 CHANGED DESIGNED SHEET 2 OF 1		

$$V = 8,900 \text{ cu. ft.}$$

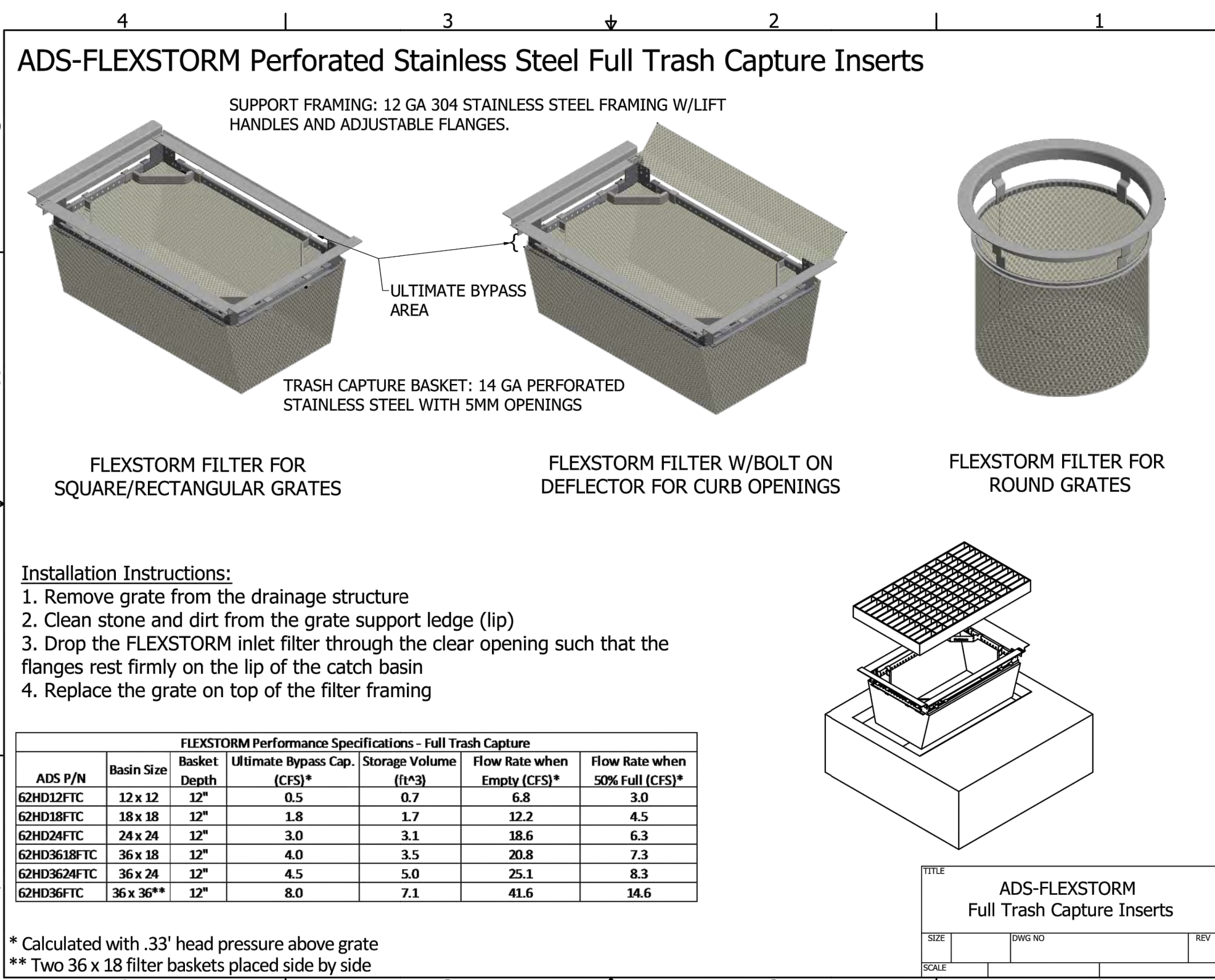
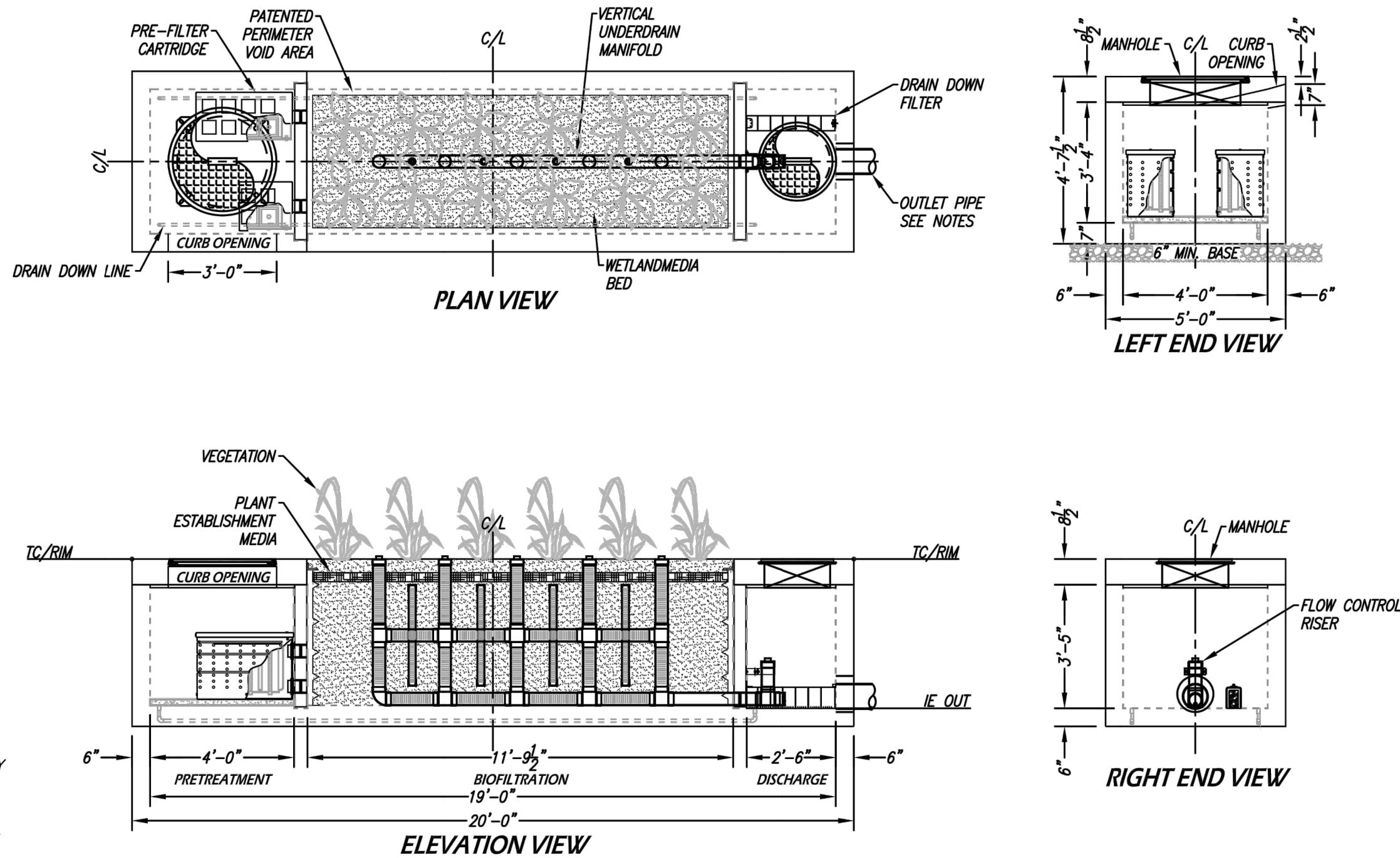
MODULE NOTES		
TYPE	QUANTITY	HEIGHT
B	14	5'
C	1	5'
F	1	5'
G	1	5'
TOTAL	17	
VOLUME *	9.306	CUBIC FEET



- DESIGN NOTES**
- 1. LIVE LOADING CRITERIA:
 - A. UNIFORM UH-40 DESIGN TRUCK (WITH IMPACT AT 6" MINIMUM COVERAGE)
 - B. LATERAL LIVE LOAD SURFACE: 80 PSF (TO 8" DEPTH)
 - 2. LATERAL SURFACE LOADS: ALL EXISTING BUILDINGS, WALLS, FOUNDATIONS, OR ANY ADDITIONAL SITE ELEMENTS.
 - 3. SOIL LOADING CRITERIA:
 - A. SOIL COVER DEPTH: 12" MIN. - 5' MAX.
 - B. SOIL UNIT WEIGHT: 120 PCF
 - C. EXISTING WATER TABLE: TO BE DETERMINED BELOW BOTTOM OF PRECAST
 - D. REQUIRED ALLOWABLE BEARING PRESSURE: 2,000 PSF
 - E. EQUIVALENT LATERAL FLOOD PRESSURE: ACTIVE: 45 PCF (DRAINED)
 - F. EQUIVALENT LATERAL FLOOD PRESSURE: AT REST: 30 PCF (DRAINED)
 - G. EQUIVALENT LATERAL FLOOD PRESSURE: PASSIVE: 150 PCF (DRAINED)
 - H. COEFFICIENT OF FRICTION: 0.30
 - I. SEISMIC LATERAL EARTH PRESSURES: NOT APPLICABLE
 - 4. STORMCUP/CASTER MODULE TYPE: DETENTION (WATERTIGHT).
 - 5. GEOTECH. (NORMAL WEIGHT):
 - A. MIN. 28-DAY COMPRESSIVE STRENGTH: 6,000 PSI
 - B. CEMENT: ASTM C150
 - C. FILL: 100% GRADE 40
 - D. REINFORCING: ASTM A615 / A706 (GRADE 60), ASTM A1064 (GRADE 80)
 - 6. REFERENCE STANDARDS: ASTM C813 & C890, AGC 318.14
 - 7. UNLESS NOTED AS "ASSUMED," ALL GEOTECHNICAL CRITERIA IS BASED ON THE PARAMETERS NOTED IN THE GEOTECHNICAL REPORT BY GEOTECH CONSULTANT, DATE 03/03/2016.

REV	BY	DATE
 Castro Infrastructure AECOM COMPANY		
Proj. No. SC1-05-001 - www.aecom.com THIS DOCUMENT IS THE PROPERTY OF CASTRO INFRASTRUCTURE, INC. IT IS CONFIDENTIAL, EXEMPTED FOR REFERENCE PURPOSES ONLY AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF CASTRO INFRASTRUCTURE, INC. IT IS THE PROPERTY OF CASTRO INFRASTRUCTURE, INC.		
STORMCAPTURE® DETENTION SYSTEM		SYSTEM D PLAN 0.0
CUSTOMER: BLUE PEAK ENGINEERING JOB NAME: CIRCLE K - LAGUNA HILLS, CA		
DATE 01/29/2012	DESIGNED BY SC1-05-001	CHECKED BY SC1-05-001
ORDERING NAME SC1-05-001		SHEET 1 OF 1

SITE SPECIFIC DATA			
PROJECT NAME			
PROJECT LOCATION			
STRUCTURE ID			
TREATMENT REQUIRED			
VOLUME REQUIRED (CF)		FLOW REQUIRED (CFS)	
TREATMENT HGL AVAILABLE (FT)			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
	PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD	PARKWAY	OPEN PLANTER	PARKWAY
FRAME & COVER	#30"	N/A	#24"
WETLANDMEDIA VOLUME (CY)			6.52
WETLANDMEDIA DELIVERY METHOD			TBD
ORIFICE SIZE (DIA. INCHES)			#2.29"
MAXIMUM PICK WEIGHT (LBS)			40000
NOTES:			



FLEXSTORM Performance Specifications - Full Trach Capture						
A/Ds P/N	Basin Size	Basket Depth	Ultimate Bypass Cap. (CF5)*	Storage Volume (ft ³)*	Flow Rate when Empty (CF5)*	Flow Rate when 50% Full (CF5)*
G2HD122TFC	12 x 12"	12"	0.5	0.7	6.8	3.0
G2HD18BFC	18 x 18"	12"	1.8	1.7	12.2	4.5
G2HD24TFC	24 x 24"	12"	3.0	3.0	18.0	6.3
G2HD36B18FC	36 x 18"	12"	4.0	3.5	20.8	7.3
G2HD3624TFC	36 x 24"	12"	4.5	5.0	25.1	8.3
G2HD36FC	36 x 36**	12"	8.0	7.1	41.6	14.6

INSTALLATION NOTES

1. CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPROPRIATE TO BE IN ACCORDANCE WITH THE DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
2. UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
3. ALL PIPES MUST FLUSH WITH INSIDE SURFACE OF CONCRETE. PIPES CANNOT INTRUDE INTO THE REVERSE OF THE OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AROUND PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK GROUT PER MANUFACTURERS STANDARD CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
4. CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
5. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
6. DRIP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

GENERAL NOTES

1. MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.

THE PRODUCT DESCRIBED MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING US PATENTS: 7,425,262; 7,470,362; 7,674,378; 8,303,816; RELATED FOREIGN PATENTS OR OTHER PATENTS PENDING

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF MODULAR WETLANDS SYSTEMS. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF MODULAR WETLANDS SYSTEMS IS PROHIBITED.

[illegible]

CIRCLE K - CONVENIENCE STORE
25491 ALICIA PARKWAY
LAGUNA HILLS, CA 92653

10870 W. FAIRVIEW DR
STE 102-1187
BOISE, ID 83713
(208) 918-0928
thomas@c3civileng.com



DATE: 1/25/2023
C3 JOB NO: 22-009
DRAWN BY: NM
CHECKED BY: TH

SHEET TITLE

PWQMP
DETAIL
SHEET

SHEET NUMBER
4 of 4



Notes:

- All landscape plans and installations shall comply with the City of Laguna Hills design guidelines, standards, codes and regulations.
- All landscape areas shall receive permanent irrigation.
 - Irrigation system shall be point source with gallon per minute emitters for trees and gallon per hour emitters for shrubs.
 - Irrigation system shall have a flow sensor and master valve.
 - Irrigation controller shall be a smart controller operating off of weather data and soil moisture sensors.
 - Irrigation controller management software shall be cloud based with remote/online access.
- All landscape installations shall be permanently maintained.
- All landscape plans shall comply with the Model Water Efficient Landscape Ordinance (MWEL) or the local jurisdictions water ordinance, whichever is more stringent.
- All plants shall be of quality as prescribed in the details and specifications of the landscape construction plans.
- All utilities, perimeter walls and trash enclosures shall be screened with hedges, vines, or other approved treatments.

Preliminary MWEL Calculations

Laguna Hills (Irvine) Eto: 49.6
Total Landscape Area: 7038 SF
Average Plant Factor: 0.3 Low water use plants
Irrigation Efficiency: 0.81 Drip Irrigation

Estimated Annual Water use: **81,617 gallons**

Maximum allowed water Allowance: 97,395 gallons

LANDSCAPE REQUIREMENTS:

Lot size: 39,204 square feet.
Landscape area: 7,194 square feet.
Parking area = 2,919 square feet.
PARKING LOT TREES:
-Required: 1 tree per 6 parking spaces.
-16 parking spaces provided. 16 / 6 = 2.6 or 3 trees.
-Provided: 3 trees
SHADE:
-Required: 20% of parking area or 584 square feet.
-Provided: 20.1% or 587 square feet.
PARKING LOT LANDSCAPE:
-Required: 10% of common parking area or 292 square feet.
-Provided: 318 square feet or 10.9%.
LANDSCAPE:
-50% as perimeter landscape.
-50% distributed in the interior of the parking facility.
Total landscape: 18.35% of site.
All required planter areas contain at least twenty five square feet in area.

Plant Legend

TREES	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	USE	WUCOLS	STYLE	CA NATIVE	QTY
	Acer buergerianum	Trident Maple	24"box	Deciduous	Accent Tree	Medium	Standard	No	2
	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	24"box	Deciduous	Accent Tree	Medium	Standard	No	3
	Lagerstroemia indica x fauriei 'Muskogee'	Muskogee Crape Myrtle	24"box	Deciduous	Street Tree	Medium	Standard	No	5
	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache	24"box	Deciduous	Parking Lot Tree	Medium	Standard	No	4
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	USE	WUCOLS	STYLE	CA NATIVE	QTY
	Bulbine frutescens	Stalked Bulbine	1 gal	Evergreen	Low	No			78
	Callistemon viminalis 'Little John'	Little John Weeping Bottlebrush	5 gal	Evergreen	Low	No			64
	Carissa macrocarpa 'Green Carpet'	Green Carpet Natal Plum	5 gal	Evergreen	Low	No			42
	Carpenteria californica 'Elizabeth'	Elizabeth Bush Anemone	5 gal	Evergreen	Low	Yes			12
	Ceanothus maritimus 'Valley Violet'	Valley Violet Maritime Ceanothus	5 gal	Evergreen	Low	Yes			6
	Cistus x pulverulentus 'Sunset'	Sunset Rockrose	5 gal	Evergreen	Low	No			40
	Festuca mairei	Atlas Fescue	1 gal	Evergreen	Low	No			6
	Lantana x 'New Gold'	New Gold Lantana	5 gal	Evergreen	Low	No			22
	Myrtus communis 'Compacta'	Dwarf Common Myrtle	5 gal	Evergreen	Low	No			8
	Rhapheolepis indica 'Ballerina'	Ballerina Indian Hawthorn	5 gal	Evergreen	Low	No			11
	Rhapheolepis indica 'Clara'	Clara Indian Hawthorn	5 gal	Evergreen	Low	No			57
VINE	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	USE	WUCOLS	STYLE	CA NATIVE	QTY
	Parthenocissus tricuspidata 'Veitchii'	Boston Ivy	5 gal	Deciduous	Medium	No			1

All landscape areas are to receive a minimum 3" of organic composted mulch.



Lagerstroemia indica 'Natchez'



Pistacia chinensis 'Keith Davey'



Bulbine frutescens



Cistus x pulverulentus 'Sunset'



Callistemon viminalis 'Little John'



Carissa macrocarpa 'Green Carpet'



Carpenteria californica 'Elizabeth'



Ceanothus maritimus 'Valley Violet'



Festuca mairei



Lantana x 'New Gold'



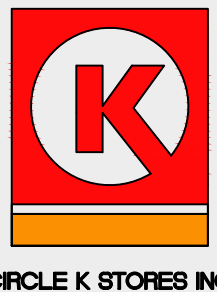
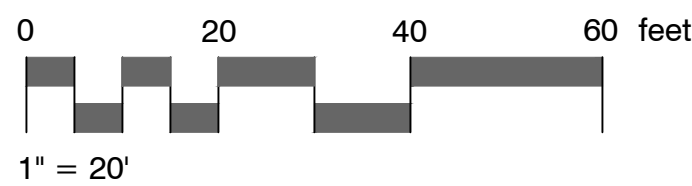
Rhapheolepis indica 'Ballerina'



Rhapheolepis indica 'Clara'



Myrtus communis 'Compacta'



CIRCLE K STORES INC.



LAND DEVELOPMENT
CONSULTANTS, LLC
3281 EAST QUART ROAD, SUITE 700
ONTARIO, CA 91761

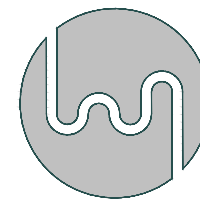


30 Executive Park, Suite 100
Irvine, CA 92614
t: 949 296 0450 f: 949 296 0479

CIRCLE K STORE

25491 ALICIA PARKWAY
LAGUNA HILLS, CA

WOOD ARCHITECTURE



Project: 20113_WA
Date: 03.14.2023
Scale: 1" = 20'

www.iwoodarchitecture.com

KEY NOTES

- STEEL COLUMN WRAP WITH BREAK METAL
- LINE OF CANOPY / SOFFIT
- DARK BRONZE ANODIZED WINDOW FRAME W/ GRAY TINTED GLASS PER SOLARBAN SOLARGRAY SPECS
- INTERNALLY ILLUMINATED SIGN (UNDER SEPARATE PERMIT)
- DARK BRONZE ANODIZED DOOR W/ GRAY TINTED GLASS STOREFRONT SYSTEM
- SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
- PRE-FINISHED METAL COPING
- NICHHA FIBER CEMENT WALL PANEL SYSTEM
- WALL MOUNTED LIGHT FIXTURE, COLOR: BRONZE
- SES PANEL LOCATION
- ROOF LINE AND HVAC UNITS
- 1-1/2" NICHHA CORNER KEY EDGE, TYP. TO ALL CORNERS
- ROOD DRAIN LEADER AND TAIL OVERFLOW DRAIN TO DAYLIGHT AT SIDEWALK CURB
- ADDRESSING LOCATION: 8" TALL INCH BLACK NUMBERS. FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT.
- 1 3/8" THK. X 6" NICHHA KURASTONE HIGH FIBER CEMENT WAINSCOT
- 1-1/2" HIGH NICHHA FIBER CEMENT CAP INSTALL PER MFR. SPECS.
- FRY REGLET DRIP CAP
- PARAPET WALL BEYOND
- (KNOX) KEY-BOX AT 6'-0" AFF (IF REQUIRED BY FIRE DEPARTMENT)
- FIRE DEPARTMENT CONNECTION (IF REQUIRED)
- ALUMINUM AWNING WITH SUPPORT RODS ABOVE THE SIDE ENTRY DOOR BY CIRCLE K VENDOR. PROVIDE BLOCKING IN EXTERIOR WALL FOR AWNING AND SUPPORTS
- EMERGENCY FUEL SHUT-OFF SWITCH
- INSULATED METAL DOOR
- NICHHA ESSENTIAL "STARTER" FLASHING
- CO2 TANK WITH METAL LOUVERED CONTAINER
- EXTERIOR FINISH TO EXTEND ABOVE SIDEWALK/GRADE
- CONTROL/EXPANSION JOINT "E.J." LOCATION
- HARDIESOFFIT FIBER CEMENT PANELS
- WALL POST INDICATOR
- METAL LATTICE/GREEN SCREEN TO BE FREESTANDING 1' OFF THE BUILDING- DARK BRONZE

FINISH SCHEDULE

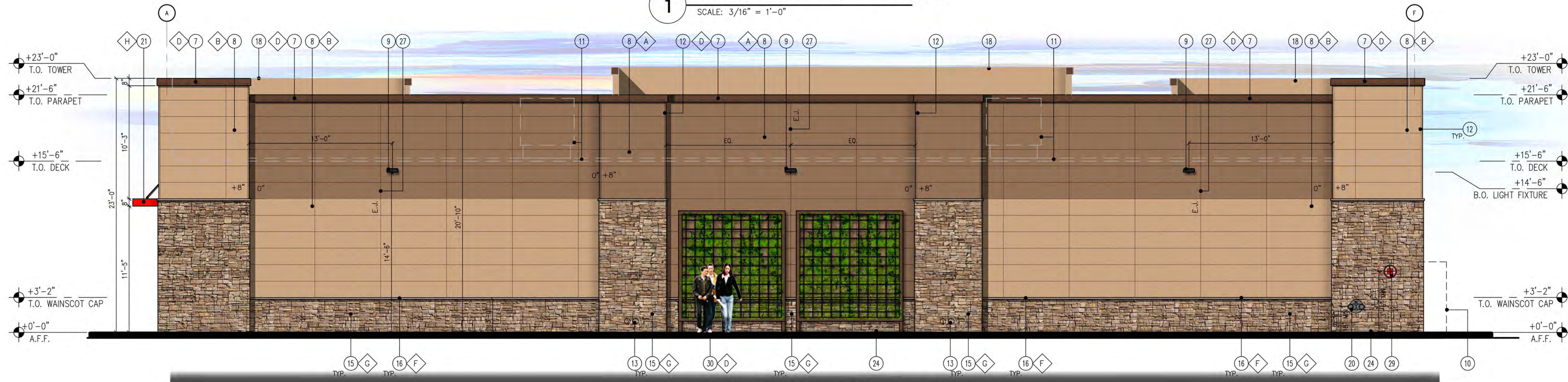
- A - ***NICHHA TUFF BLOCK
- COLOR TO MATCH #SW 6095 TOASTY
- B - ***NICHHA TUFF BLOCK
- COLOR TO MATCH #SW 6115 TOTALLY TAN
- C - 1" INSULATED, DOUBLE PANED GRAY TINTED GLASS
- D - *SHERWIN WILLIAMS #SW 6090 - JAVA
- FIRESTONE MANSARD BROWN SR (USE FOR PRE-FINISHED METAL COPING)
- E - *SHERWIN WILLIAMS #SW 7005
- CIRCLE K WHITE
- F - ***NICHHA CHISELED SILL TAN
- G - ***NICHHA LEDGESTONE BLUFF
- H - *SHERWIN WILLIAMS #SW 4081
- **SAFETY RED
- I - ***NICHHA TUFF BLOCK
- COLOR TO MATCH #SW 4081

* USE SHERWIN WILLIAMS MANUFACTURER ONLY
** COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION
*** COORDINATE WITH OWNER'S REP



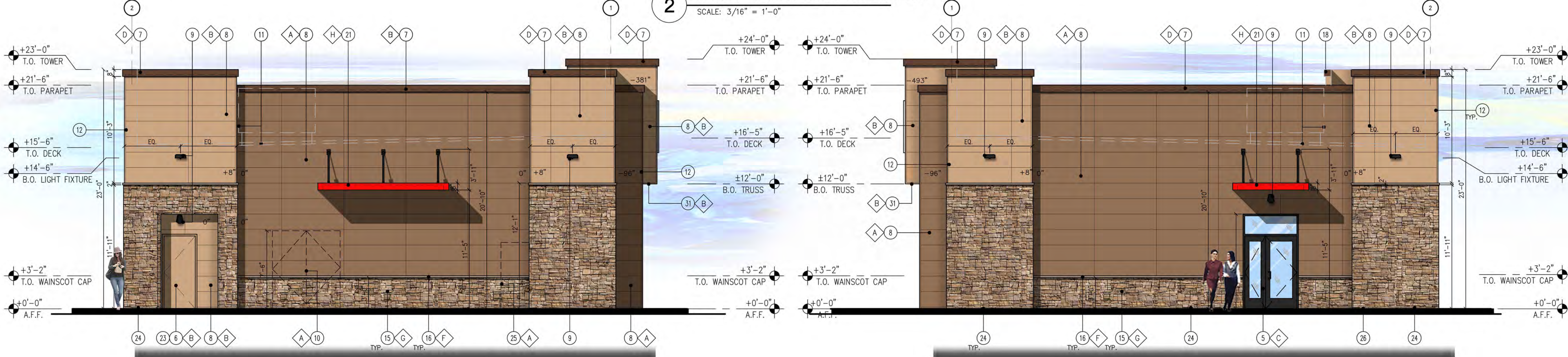
1 FRONT "SOUTH-WEST" ELEVATION

SCALE: 3/16" = 1'-0"



2 BACK "NORTH-EAST" ELEVATION

SCALE: 3/16" = 1'-0"



3 SIDE "SOUTH-WEST" ELEVATION

SCALE: 3/16" = 1'-0"

4 SIDE "NORTH-EAST" ELEVATION

SCALE: 3/16" = 1'-0"



30 Executive Park
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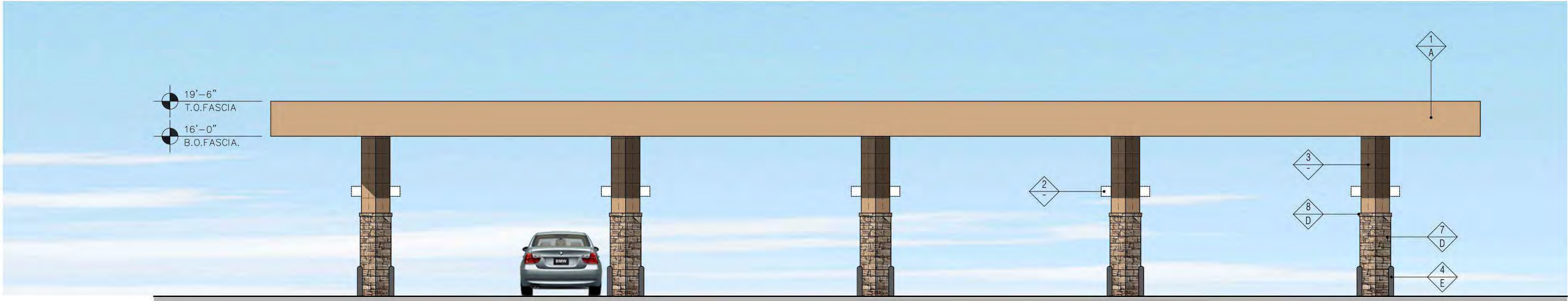
CIRCLE K
25491 ALICIA PARKWAY
LAGUNA HILLS, CA
20190910.0

BUILDING EXTERIOR ELEVATIONS - 5200

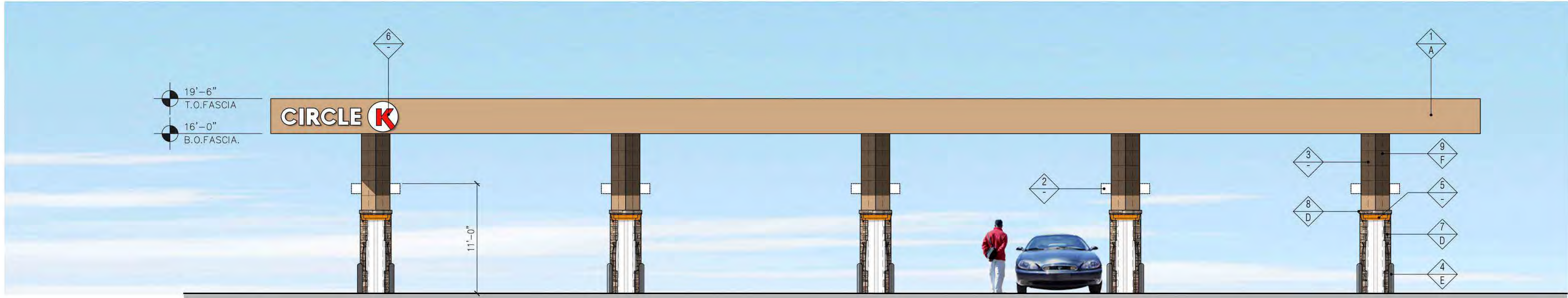
SCALE: AS NOTED

A-2

02/20/2023



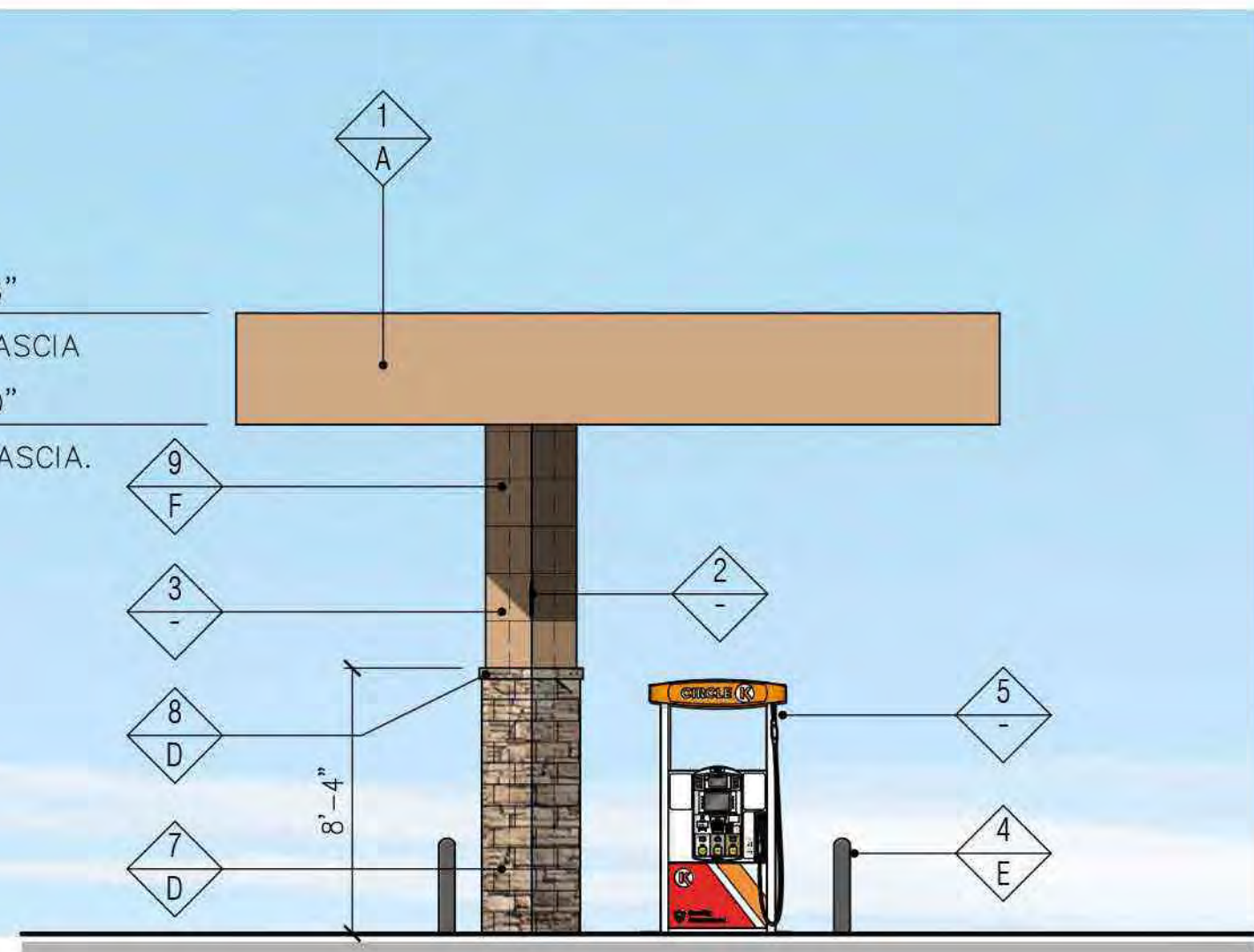
1 "REAR" NORTH-EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 "FRONT" SOUTH-WEST ELEVATION - STREET VIEW
SCALE: 1/16" = 1'-0"



4 "SIDE" SOUTH-EAST ELEVATION - STREET VIEW
SCALE: 3/16" = 1'-0"

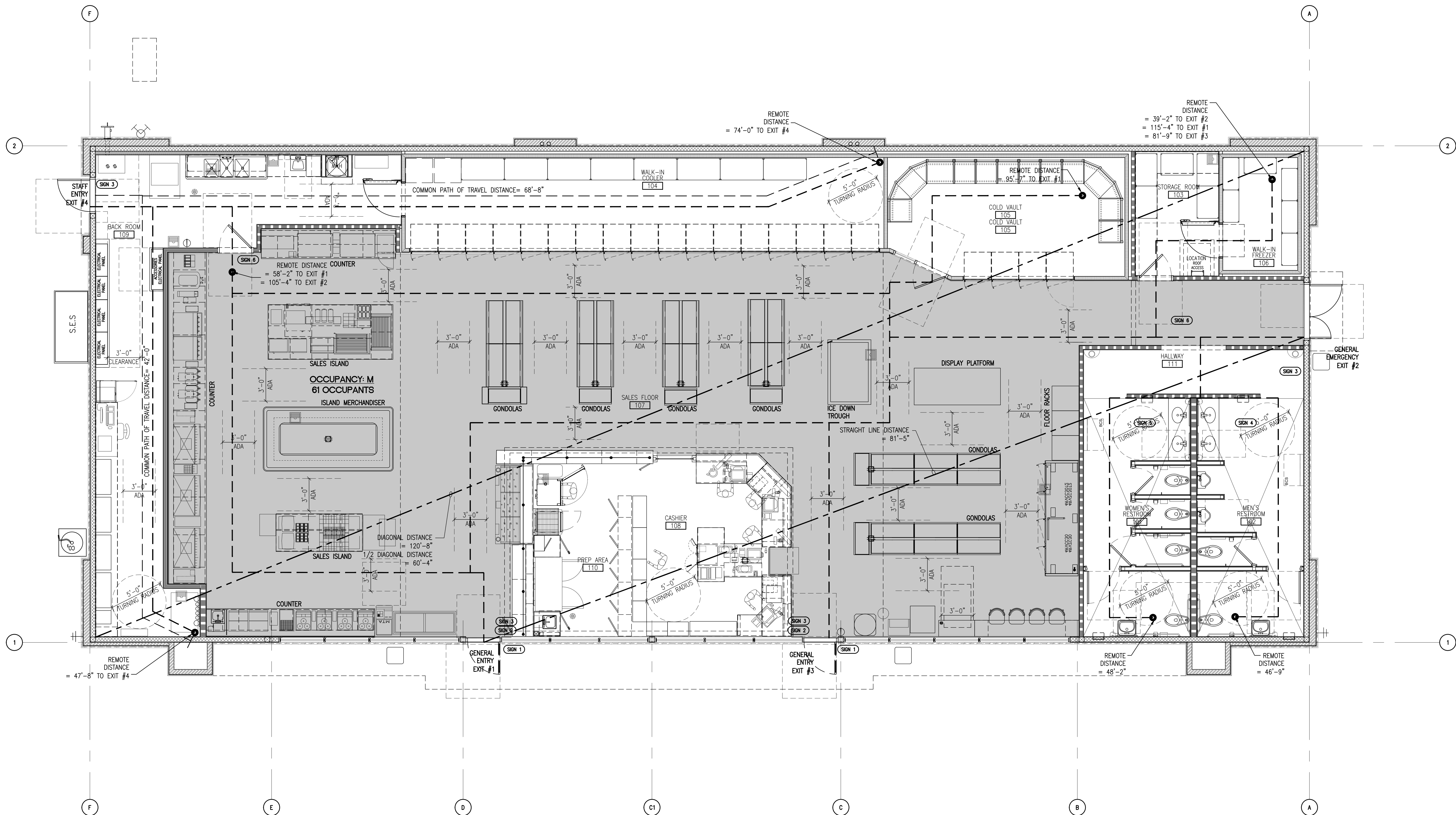


3 "SIDE" NORTH-WEST ELEVATION
SCALE: 3/16" = 1'-0"

FINISH SCHEDULE

FINISH MATERIAL	
1	ACM PANEL "TEX-COTE"
2	COLUMN FLAGS BY SIGNAGE VENDOR
3	LINE OF STEEL COLUMN WITHIN
4	6" Ø BOLLARD, 36" HIGH
5	FUEL PUMP
6	ILLUMINATED CHANNEL LETTERS SIGN UNDER SEPARATE PERMIT
7	4X8X16 CMU VENEER, SPLIT FACE, GROUTED TO MATCH CMU COLOR
8	4X8X8 SOLID CMU CAP, INSTALL PER MFR. SPECS.
9	NICHIHA FIBER CEMENT WALL PANEL SYSTEM
FINISH COLOR	
A	SHERWIN WILLIAM - SW115 - TOTALLY TAN
B	NOT USED
C	NOT USED
D	ANGELUS BLOCK SPLITFACE CMU - "PUEBLO BROWN"
E	PVC BOLLARD SLEEVE "DARK GRAY"
F	NICHIHA TUFF BLOCK - COLOR TO MATCH SHERWIN WILLIAMS - SW6115 - TOTALLY TAN

Notes:
1. Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.
2. The fascia panels are pre-finished by signage vendor.
3. All signs require a separate submittal.
4. All lighting on canopy to be flush mounted with fascia.



GENERAL NOTES

1. MEANS OF EGRESS SHALL BE ILLUMINATED WITH AT LEAST ONE-FOOT CANDLE AT THE FLOOR LEVEL (WALKING SURFACE). REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

LEGEND

- ROUTE FROM THE REMOTEST ROOM OR SPACE TO NEAREST EXIT.
- DIAGONAL DISTANCE OF THE BUILDING OR AREA.
- STRAIGHT LINE DISTANCE BETWEEN EXITS.
- ROUTE FROM THE REMOTEST ROOM OR SPACE TO NEAREST EXIT.
- DIAGONAL DISTANCE OF THE BUILDING OR AREA.
- STRAIGHT LINE DISTANCE BETWEEN EXITS.
- MOST REMOTE POINT WITHIN THIS AREA.
- ILLUMINATED EXIT SIGN.
- EMERGENCY LIGHT.
- PUBLICLY ACCESSIBLE AREAS: SALES AREA/RESTROOMS/HALLWAYS.

1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

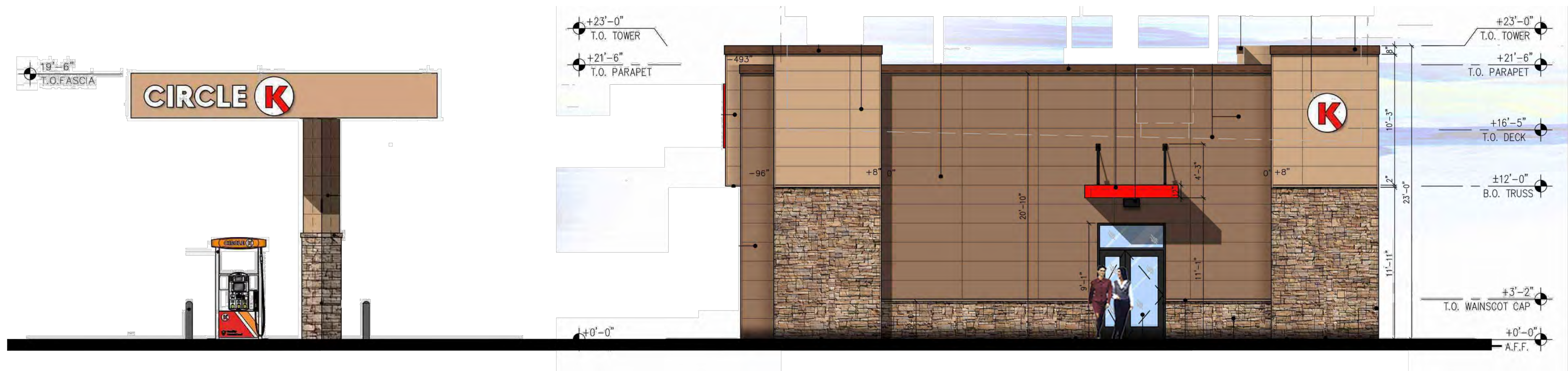
ACCESSIBILITY SIGNS

- SIGN 1 INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- SIGN 2 "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" LETTER MIN. 1" HIGH. SIGN MOUNTED ABOVE DOOR.
- SIGN 3 TACTILE EXIT SIGN SHALL COMPLY ADA STANDARD SECTION 703.3 AND ANSI A117.1 2009.
- SIGN 4 MEN RESTROOM.
- SIGN 5 WOMEN RESTROOM.
- SIGN 6 EMPLOYEES ONLY.

NOTES:
INSPECTOR MAY REQUIRE ADDITIONAL EXIT SIGNS AT THE TIME OF FINAL INSPECTION.
SIGNAGE COMPANY AND GC TO BOTH MAKE SURE ALL UTILITY LINES HAVE BEEN LOCATED PRIOR TO DIGGING FOOTING.
GC RESPONSIBLE TO CALL AND HAVE UTILITIES LOCATED.
SIGNAGE COMPANY RESPONSIBLE TO CONFIRM THIS HAS BEEN DONE.







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SITE PERSPECTIVES - ELEVATION EAST VIEW

SCALE: N.T.S.

A-3.3