

PROJECT CONTACTS

OWNER:
WARMINGTON PROPERTIES
17000 Sky Park Circle, Suite 10
Laguna Hills, CA 92653
CONTACT: DAVE CLARK
TEL: (714) 434-4475
EMAIL: DAVE.CLARK@WARMINGTONGROUP.COM

ARCHITECT:
GB ARCHITECTURE
17000 Sky Park Circle, Suite 10
Laguna Hills, CA 92653
CONTACT: ROB CANA ARCHITECT
TEL: (714) 434-3319
EMAIL: ROB@GBARCHITECT.COM

CIVIL ENGINEER:
WALDEN & ASSOCIATES
201 W. 10TH AVE., SUITE 100
LAGUNA BEACH, CA 92653
CONTACT: MORGAN VANDERSTEE P.E.
TEL: (949) 855-0110
EMAIL: MORGAN@WALDENASSOCIATES.NET

LANDSCAPE ARCHITECT:
TERMAN INTEGRATION
17000 Sky Park Circle, Suite 10
Laguna Hills, CA 92653
CONTACT: STEPHANIE SHERIDAN, AIA, ASCL
TEL: (714) 724-8814
EMAIL: STEPHANIE@TERMANINTEGRATION.COM

ELECTRICAL ENGINEER:
HUNTINGTON ASSOCIATES INC.
17000 Sky Park Circle, Suite 10
Laguna Hills, CA 92653
CONTACT: JOE NEMENYI
TEL: (714) 724-8814
EMAIL: JOE@HUNTINGTON.COM

SHEET INDEX	
Sheet Number	Sheet Title
A1	Site Plan Cover
A2	Proposed Site Plan
A2.1	Line of Sight Site Plan
A2.2	Line of Sight Sections
A3	Outdoor Plaza Plan & Elevations
A4.1	Block A Existing Plan & Roof
A4.2	Block A Existing Elevations
A4.3	Block A Existing Sections
A5.1	Block B Existing Plan & Roof
A5.2	Block B Existing Elevations
A5.3	Block B Existing Sections
A6.1	Block C Existing Plan & Roof
A6.2	Block C Existing Elevations
A6.3	Block C Existing Sections
A7.1	Block D Existing Plan & Roof
A7.2	Block D Existing Elevations
A7.3	Block D Existing Sections
A8.1	Block E Existing Plan & Roof
A8.2	Block E Existing Elevations
A8.3	Block E Existing Sections
A9.1	Block F Existing Plan & Roof
A9.2	Block F Existing Elevations
A9.3	Block F Existing Sections
A10.1	Truck Enclosure 1
A10.2	Truck Enclosure 2
A10.3	Truck Enclosure 3
A10.4	Truck Enclosure 4
A10.5	Truck Enclosure 5
A10.6	Truck Enclosure 6
A10.7	Truck Enclosure 7
A10.8	Truck Enclosure 8
A10.9	Truck Enclosure 9
A10.10	Truck Enclosure 10
A10.11	Truck Enclosure 11
A10.12	Truck Enclosure 12
A10.13	Truck Enclosure 13
A10.14	Truck Enclosure 14
A10.15	Truck Enclosure 15
A10.16	Truck Enclosure 16
A10.17	Truck Enclosure 17
A10.18	Truck Enclosure 18
A10.19	Truck Enclosure 19
A10.20	Truck Enclosure 20
A10.21	Truck Enclosure 21
A10.22	Truck Enclosure 22
A10.23	Truck Enclosure 23
A10.24	Truck Enclosure 24
A10.25	Truck Enclosure 25
A10.26	Truck Enclosure 26
A10.27	Truck Enclosure 27
A10.28	Truck Enclosure 28
A10.29	Truck Enclosure 29
A10.30	Truck Enclosure 30
A10.31	Truck Enclosure 31
A10.32	Truck Enclosure 32
A10.33	Truck Enclosure 33
A10.34	Truck Enclosure 34
A10.35	Truck Enclosure 35
A10.36	Truck Enclosure 36
A10.37	Truck Enclosure 37
A10.38	Truck Enclosure 38
A10.39	Truck Enclosure 39
A10.40	Truck Enclosure 40
A10.41	Truck Enclosure 41
A10.42	Truck Enclosure 42
A10.43	Truck Enclosure 43
A10.44	Truck Enclosure 44
A10.45	Truck Enclosure 45
A10.46	Truck Enclosure 46
A10.47	Truck Enclosure 47
A10.48	Truck Enclosure 48
A10.49	Truck Enclosure 49
A10.50	Truck Enclosure 50
A10.51	Truck Enclosure 51
A10.52	Truck Enclosure 52
A10.53	Truck Enclosure 53
A10.54	Truck Enclosure 54
A10.55	Truck Enclosure 55
A10.56	Truck Enclosure 56
A10.57	Truck Enclosure 57
A10.58	Truck Enclosure 58
A10.59	Truck Enclosure 59
A10.60	Truck Enclosure 60
A10.61	Truck Enclosure 61
A10.62	Truck Enclosure 62
A10.63	Truck Enclosure 63
A10.64	Truck Enclosure 64
A10.65	Truck Enclosure 65
A10.66	Truck Enclosure 66
A10.67	Truck Enclosure 67
A10.68	Truck Enclosure 68
A10.69	Truck Enclosure 69
A10.70	Truck Enclosure 70
A10.71	Truck Enclosure 71
A10.72	Truck Enclosure 72
A10.73	Truck Enclosure 73
A10.74	Truck Enclosure 74
A10.75	Truck Enclosure 75
A10.76	Truck Enclosure 76
A10.77	Truck Enclosure 77
A10.78	Truck Enclosure 78
A10.79	Truck Enclosure 79
A10.80	Truck Enclosure 80
A10.81	Truck Enclosure 81
A10.82	Truck Enclosure 82
A10.83	Truck Enclosure 83
A10.84	Truck Enclosure 84
A10.85	Truck Enclosure 85
A10.86	Truck Enclosure 86
A10.87	Truck Enclosure 87
A10.88	Truck Enclosure 88
A10.89	Truck Enclosure 89
A10.90	Truck Enclosure 90
A10.91	Truck Enclosure 91
A10.92	Truck Enclosure 92
A10.93	Truck Enclosure 93
A10.94	Truck Enclosure 94
A10.95	Truck Enclosure 95
A10.96	Truck Enclosure 96
A10.97	Truck Enclosure 97
A10.98	Truck Enclosure 98
A10.99	Truck Enclosure 99
A11	Truck Enclosure 100

PROJECT INFORMATION

PROJECT ADDRESS:
24761 ALICIA PARKWAY
LAGUNA HILLS, CA 92653

PROJECT DESCRIPTION:
- LANDSCAPE WORK
- BUILDING FACADE RENOVATION (NO
IN USE)
- CREATE A COURTYARD, OUTDOOR PUBLIC
SPACE, AND LANDSCAPE (NO IN USE)
- NEW SEWAGE TREATMENT PLANT
- NEW SEWAGE TREATMENT PLANT
- LIGHTING UPGRADES
- PROVIDE ACCESSIBLE PATH OF TRAVEL

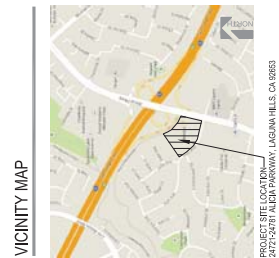
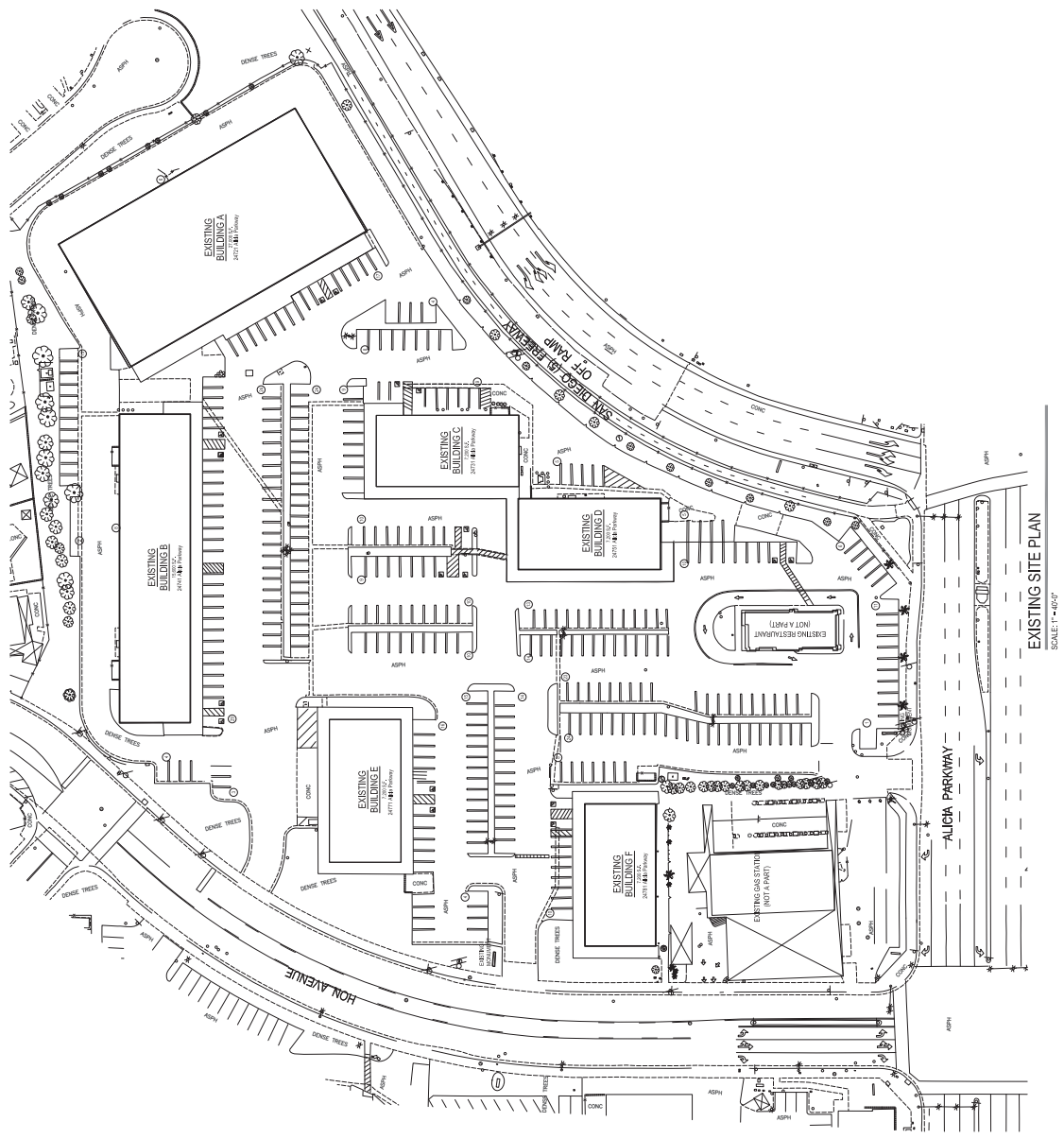
ZONING:
R-2.5A

OCCUPANCY:
A-2, B-1

AREA CALCULATIONS
LOT SIZE: 347,490 SQ. FT.

EXISTING BUILDING AREAS
BUILDING A: ONE STORY: 27,000 S.F.
BUILDING B: ONE STORY: 15,000 S.F.
BUILDING C: ONE STORY: 15,000 S.F.
BUILDING D: ONE STORY: 15,000 S.F.
BUILDING E: ONE STORY: 15,000 S.F.
BUILDING F: ONE STORY: 15,000 S.F.

PROPOSED NEW OUTDOOR AREAS: 5,773 SQ. FT.



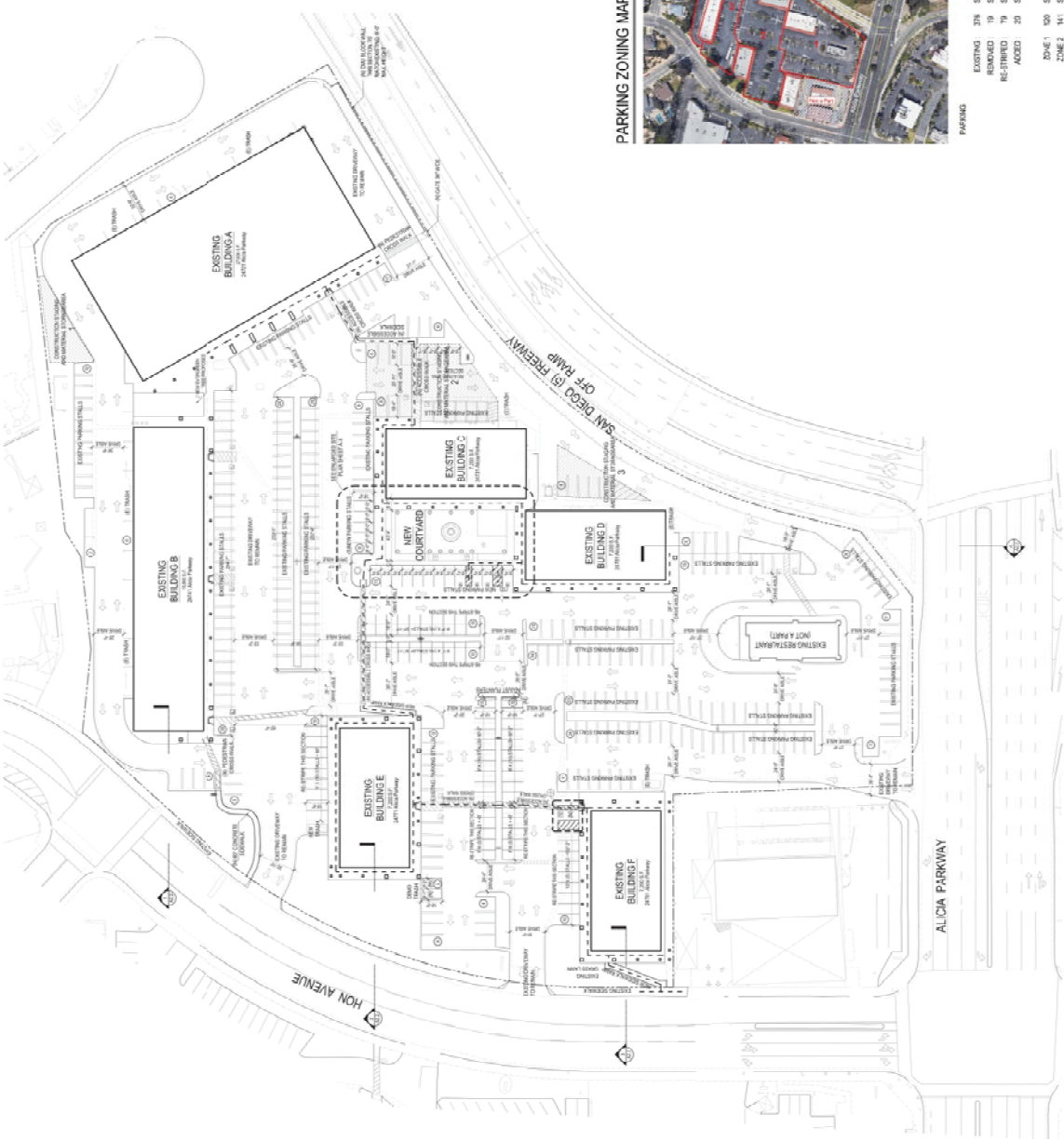
PROJECT # 190701

A-1

A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL

THE HONALI PLAZA

24761 ALICIA PARKWAY · LAGUNA HILLS · CALIFORNIA



PROPOSED SITE PLAN
SCALE: 1" = 60'-0"



PARKING ZONING MAP

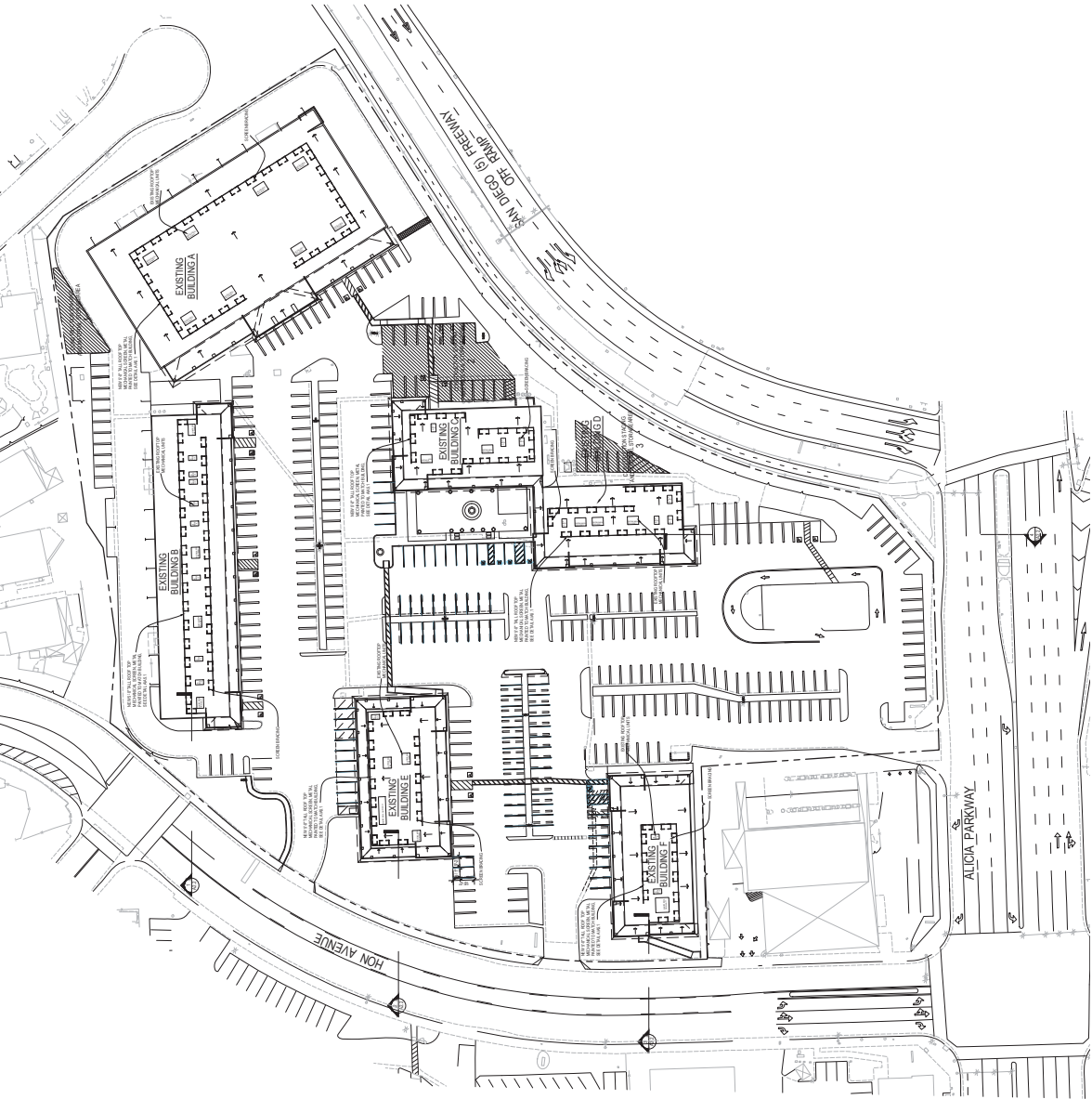
PARKING	EXISTING	37% SPACES
	10 SPACES	
	70 SPACES	
	ADDED	20 SPACES
	2046-1	100 SPACES
	2046-2	141 SPACES
	2046-3	90 SPACES
	2046-4	20 SPACES
	TOTAL PROPOSED STALLS	388 SPACES INCLUDE 30 ADA

A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL

THE HONALI PLAZA

24761 ALICIA PARKWAY, LAGUNA HILLS, CALIFORNIA

A-2
PROJECT # 30021



LINE OF SIGHT SITE PLAN
SCALE 1" = 40'-0"

A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL

THE HONALI PLAZA

24761 ALICIA PARKWAY · LAGUNA HILLS · CALIFORNIA

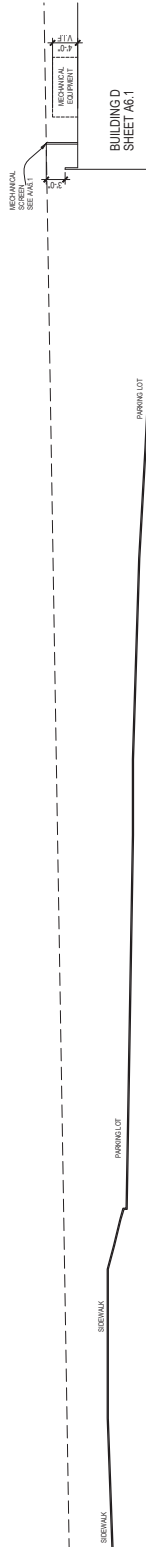
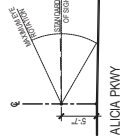
A-2.1
PROJECT # 190701



17000 Sky Park Circle, Suite 10
Irvine, California 92614-4300
TEL: 949.259.1100 FAX: 949.259.1101

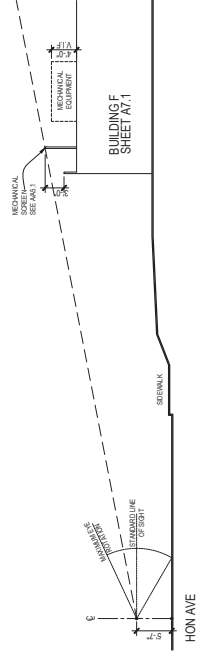
SEPTEMBER 23, 2021





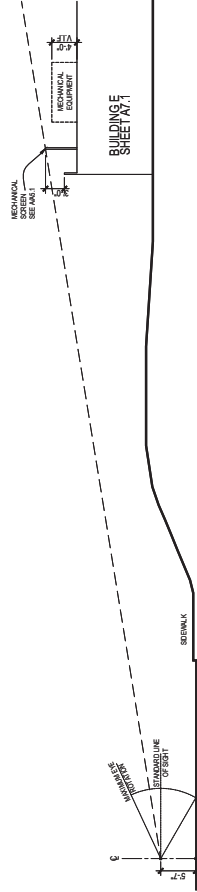
LINE OF SIGHT 4

SCALE: 1/8" = 1'-0"



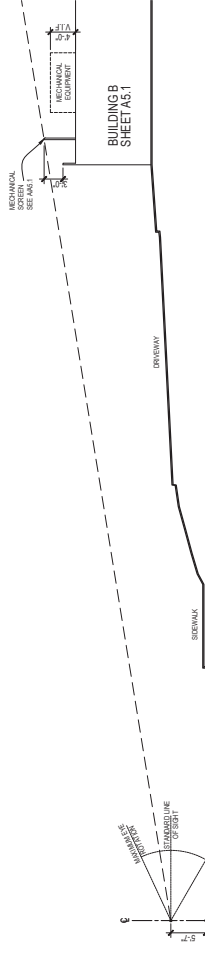
LINE OF SIGHT 3

SCALE: 1/8" = 1'-0"



LINE OF SIGHT 2

SCALE: 1/8" = 1'-0"



LINE OF SIGHT 1

SCALE: 1/8" = 1'-0"

A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL

THE HONALI PLAZA

24761 ALICIA PARKWAY, LAGUNA HILLS, CALIFORNIA

A-2.2

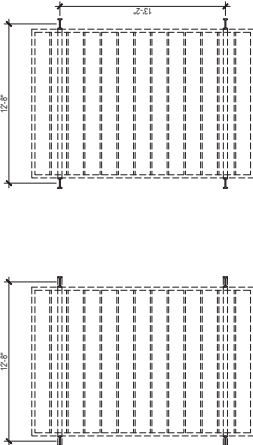
PROJECT # 19070



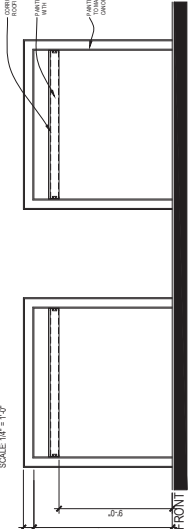
1988 SHAW-WALKER, Suite 100
17140 E. 17th Ave., Suite 100
Laguna Hills, CA 92653
TEL: 714.486.1011 FAX: 714.486.1012

SEPTEMBER 23, 2021

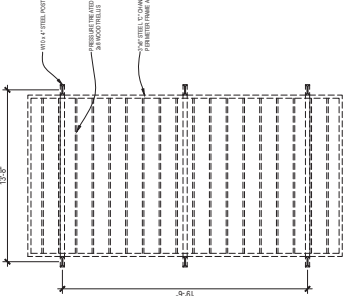
190101 - HONALI PLAZA



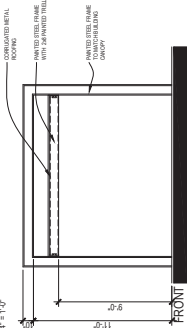
ENLARGED TRELLIS PLAN - TYPE A
SCALE 1/4" = 1'-0"



SIDE
TRELLIS ELEVATIONS - TYPE A
SCALE 1/4" = 1'-0"

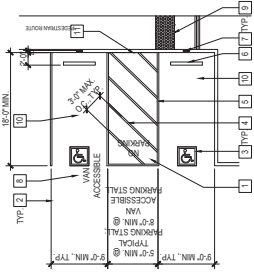


ENLARGED TRELLIS PLAN - TYPE B
SCALE 1/4" = 1'-0"

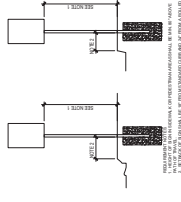


FRONT
TRELLIS ELEVATIONS - TYPE B
SCALE 1/4" = 1'-0"

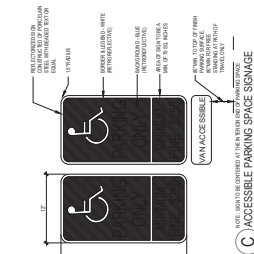
- ### ACCESSIBLE PARKING KEY NOTES
1. 17" MINIMUM SIDEWALK CLEARANCE
 2. DIMENSION TO CENTERLINE OF DRIVE
 3. SEE 17" MINIMUM SIDEWALK CLEARANCE
 4. SEE 17" MINIMUM SIDEWALK CLEARANCE
 5. SEE 17" MINIMUM SIDEWALK CLEARANCE
 6. SEE 17" MINIMUM SIDEWALK CLEARANCE
 7. SEE 17" MINIMUM SIDEWALK CLEARANCE
 8. SEE 17" MINIMUM SIDEWALK CLEARANCE
 9. SEE 17" MINIMUM SIDEWALK CLEARANCE
 10. SEE 17" MINIMUM SIDEWALK CLEARANCE
 11. SEE 17" MINIMUM SIDEWALK CLEARANCE



A ACCESSIBLE PARKING
SCALE 1/4" = 1'-0"



B SIGN MOUNTING
SCALE 1/4" = 1'-0"



C ACCESSIBLE PARKING SPACE SIGNAGE
SCALE 1/4" = 1'-0"



ENLARGED PLAZA PLAN
SCALE 1/8" = 1'-0"

BUILDING D
SEE SHEET A6.1

BUILDING C
SEE SHEET A6.1

A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL

THE HONALI PLAZA

24761 ALICIA PARKWAY · LAGUNA HILLS · CALIFORNIA

SEPTEMBER 25, 2021

A-3
PROJECT # 190701



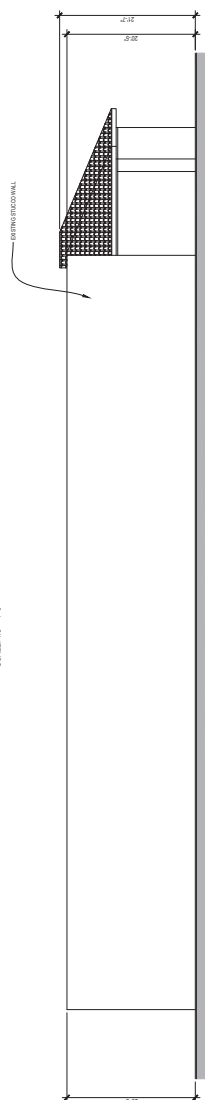
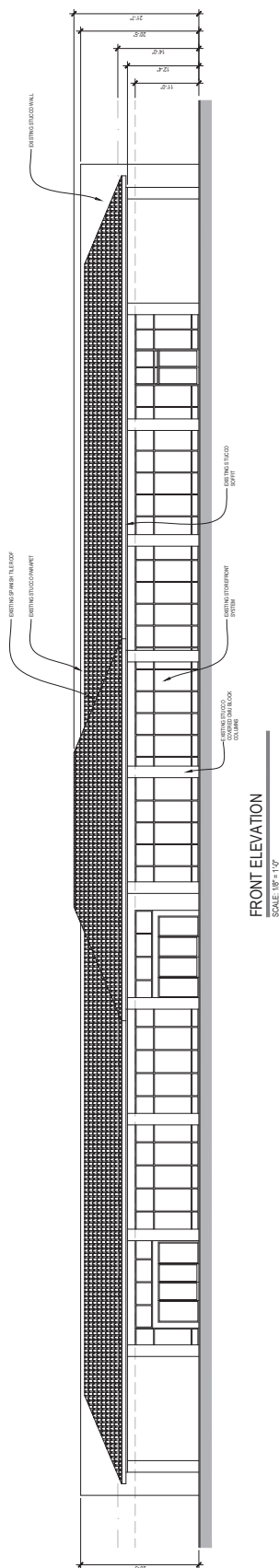
17000 Sky Park Circle, Suite 100
Irvine, California 92614-4300
714.448.3378 · M-F 9AM-5PM

190101 - HONALI PLAZA

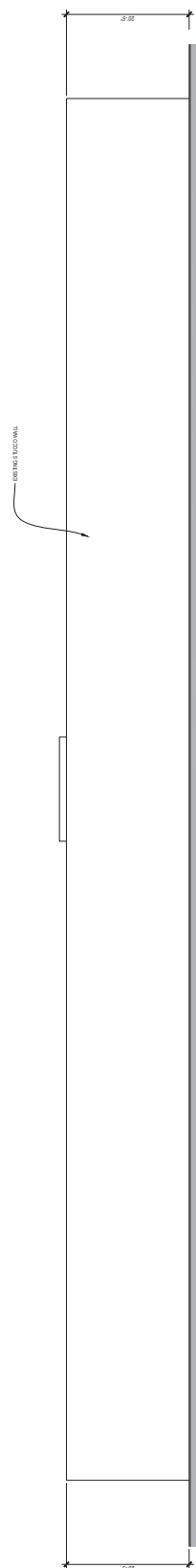


PROPOSED BUILDING ROOF PLAN A

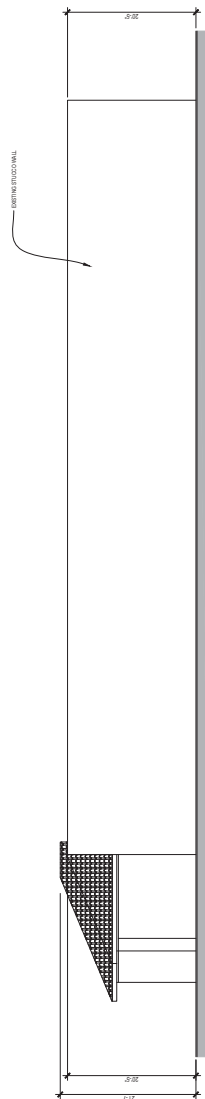
PROPOSED BUILDING FLOOR PLAN A
SCALE: 1/16" = 1'-0"



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

EXISTING BUILDING A ELEVATIONS



17000 Sep Park Circle, Suite 10
Irvine, California 92614 • 949
1714 4th St. N. #200 JARVIS

A-4.3

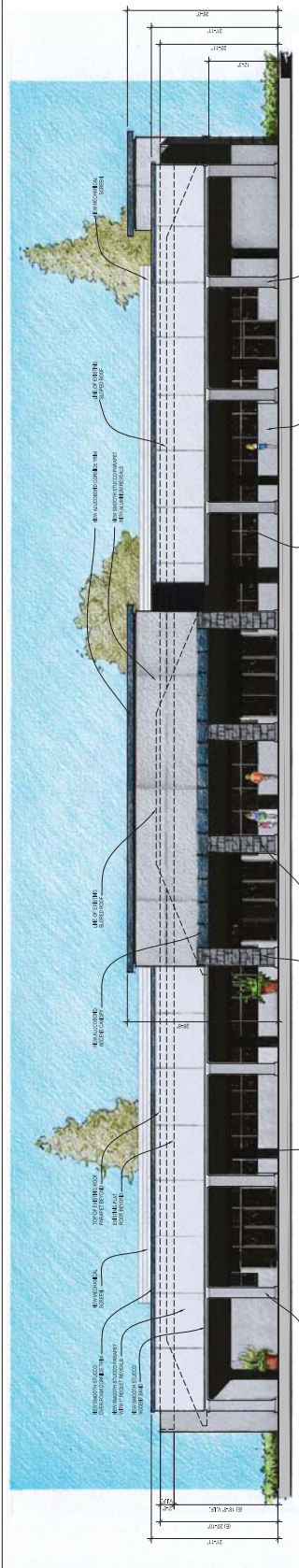
PROJECT # 190101

PROPOSED BUILDING FOR WARMINGTON COMMERCIAL

THE HONALI PLAZA

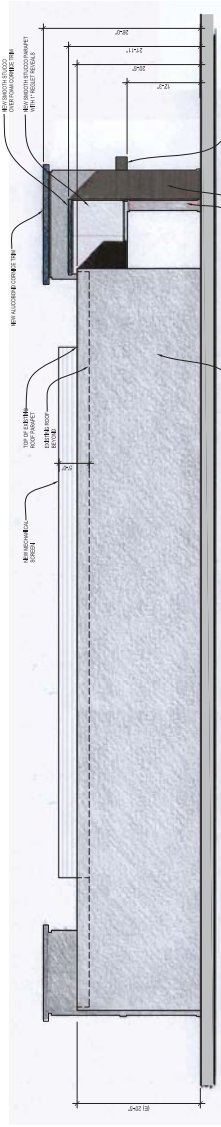
24761 ALICIA PARKWAY • LAGUNA HILLS • CALIFORNIA

JANUARY 12, 2022



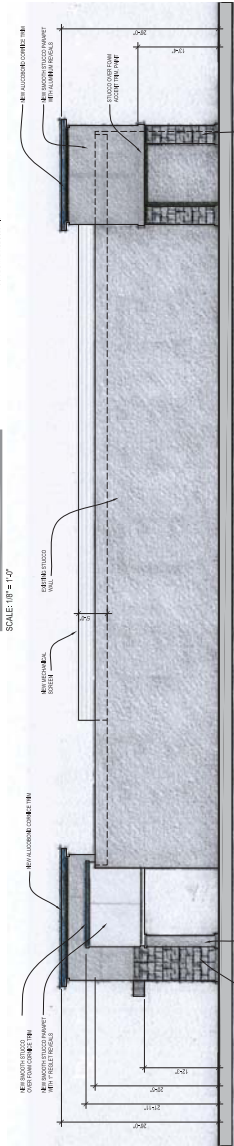
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



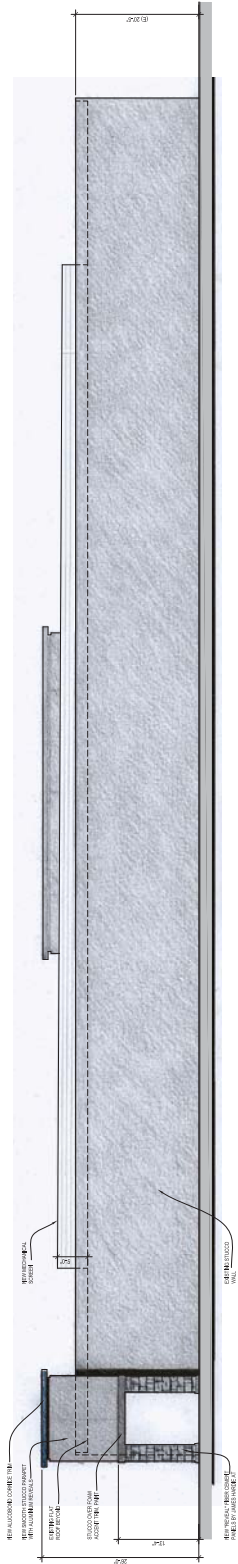
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



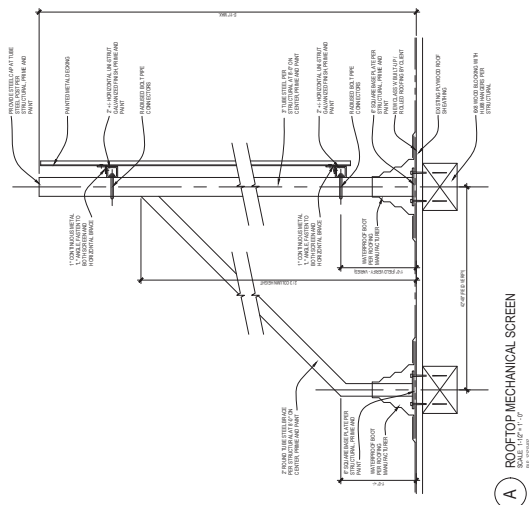
RIGHT ELEVATION

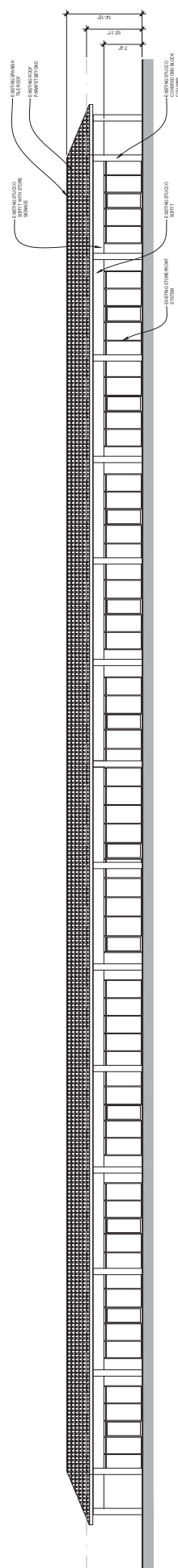
SCALE: 1/8" = 1'-0"



REAR ELEVATION

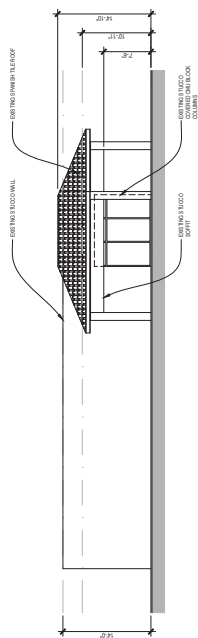
SCALE: 1/8" = 1'-0"





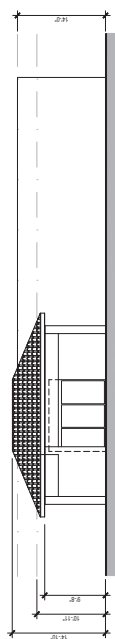
FRONT ELEVATION

SCALE 1/8" = 1'-0"



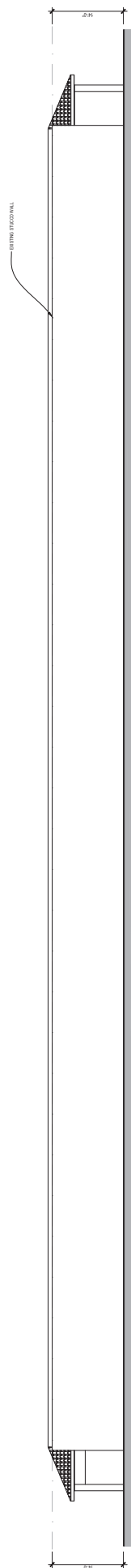
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



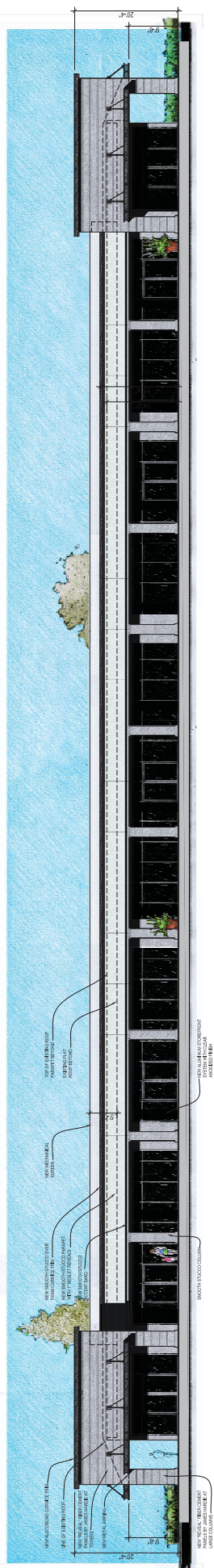
REAR ELEVATION

SCALE 1/8" = 1'-0"

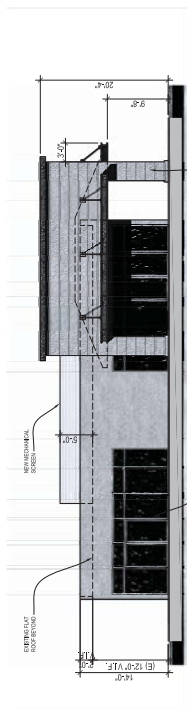
EXISTING BUILDING ELEVATIONS

PROPOSED BUILDING B ELEVATIONS
A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL
THE HONALI PLAZA
24761 ALICIA PARKWAY · LAGUNA HILLS · CALIFORNIA

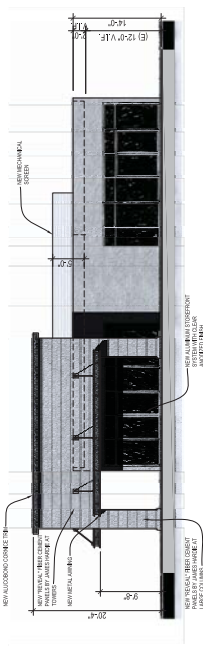
JANUARY 12, 2022



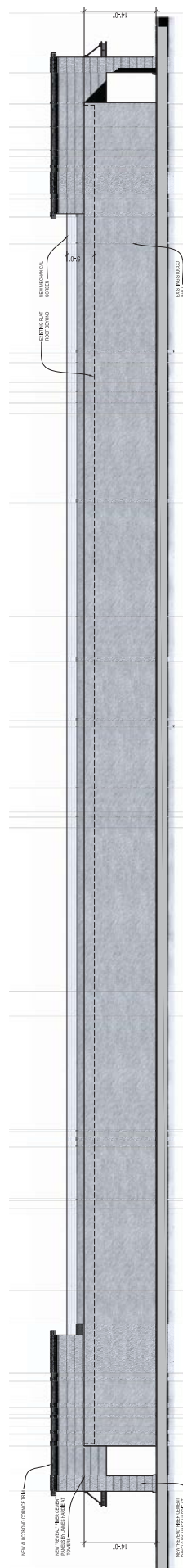
SCALE: 1/8" = 1'-0"



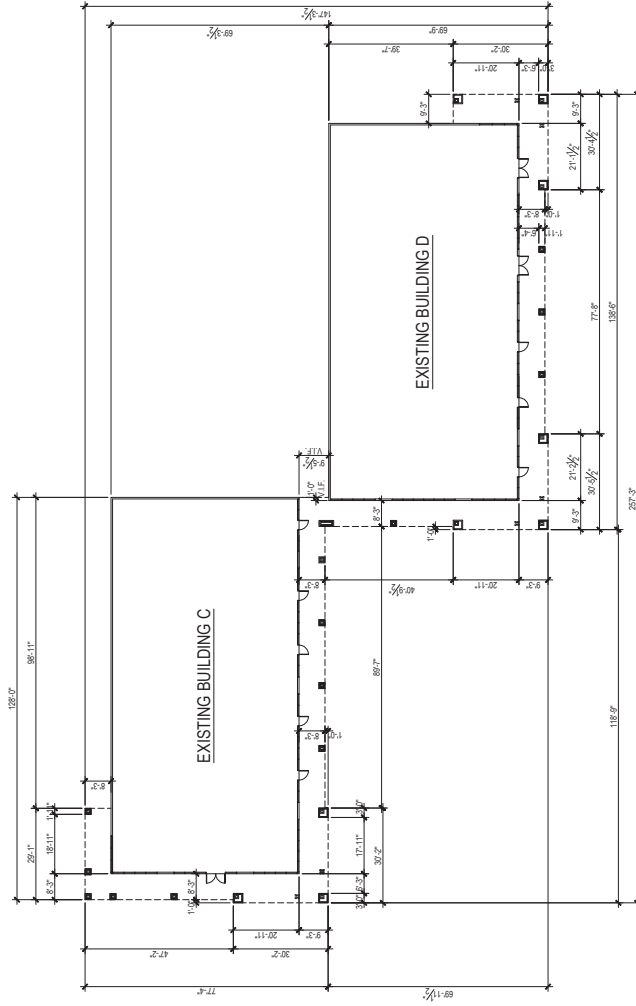
SCALE: 1/8" = 1'-0"



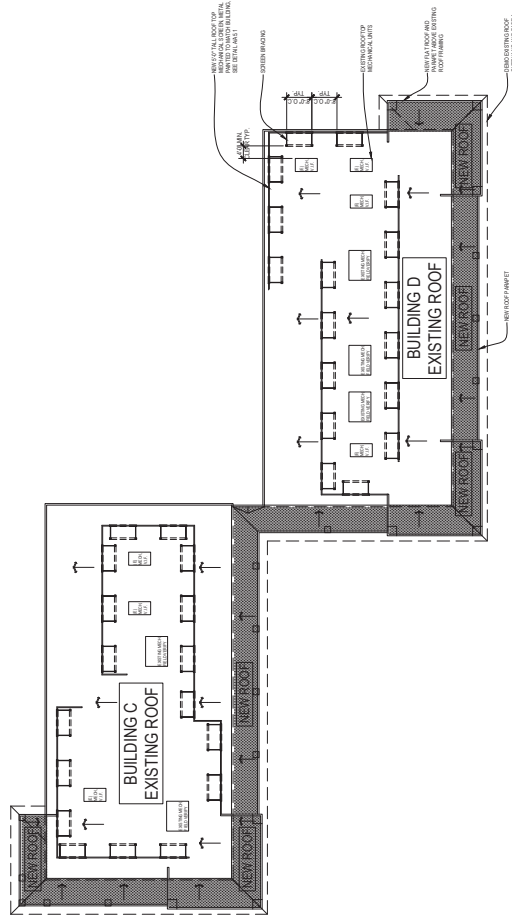
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



PROPOSED BUILDING FLOOR PLAN C + D
SCALE 1/8" = 1'-0"



PROPOSED BUILDING ROOF PLAN C + D
SCALE 1/8" = 1'-0"

A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL

THE HONALI PLAZA

24761 ALICIA PARKWAY · LAGUNA HILLS · CALIFORNIA



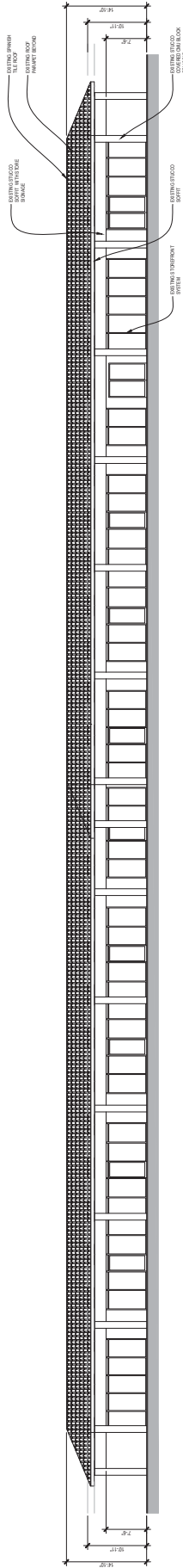
A-6.1

PROJECT # 19001

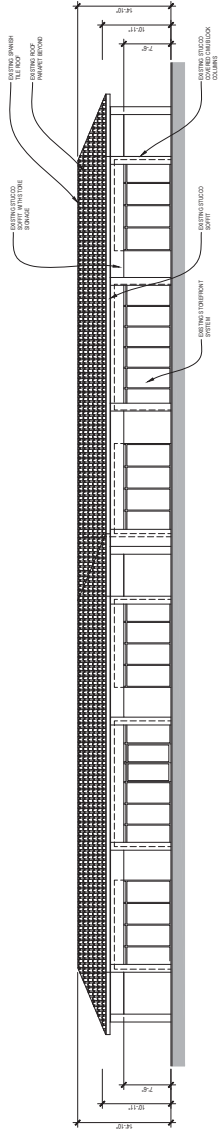


SEPTEMBER 23, 2021

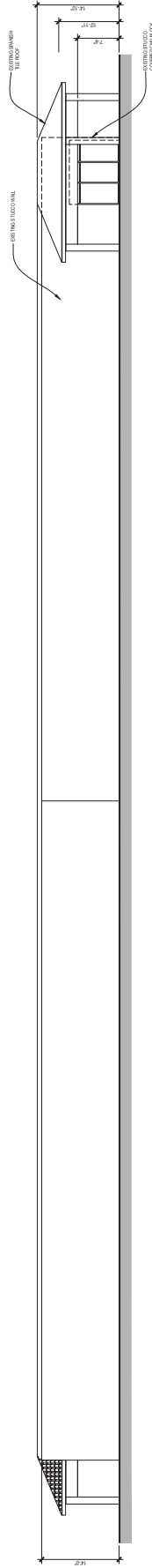
17095 Sky Park Circle, Suite G
Irvine, California 92614-4300
TEL: 949.259.1100 FAX: 949.259.1100



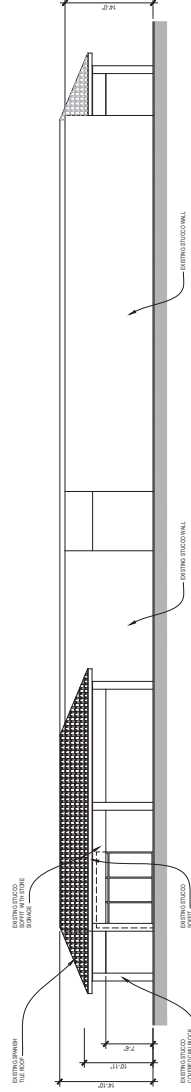
FRONT ELEVATION
SCALE 1/8" = 1'-0"



LEFT ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



RIGHT ELEVATION
SCALE 1/8" = 1'-0"

EXISTING C + D ELEVATIONS

A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL

THE HONALI PLAZA

24761 ALICIA PARKWAY · LAGUNA HILLS · CALIFORNIA



A-6.2

PROJECT # 190701

SEPTEMBER 23, 2021

17095 Sky Park Circle, Suite 10
Irvine, California 92614-4300
714.448.2019 · M-F 9AM-5PM

THE HONALI PLAZA

224761 ALICIA PARKWAY . LAGUNA HILLS . CALIFORNIA

JANUARY 12, 2022



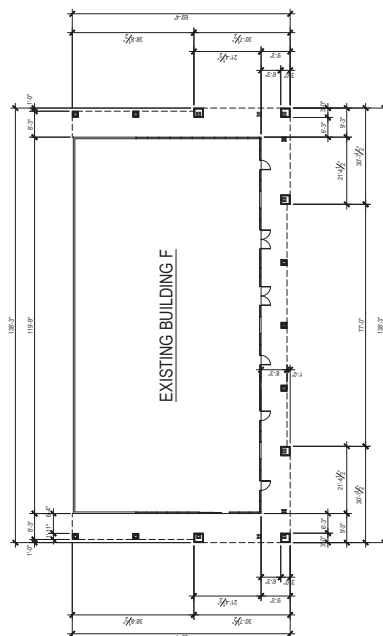
SCALE: 1/8" = 1'-0"



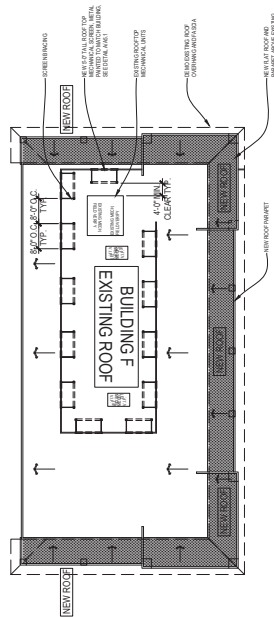
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



PROPOSED BUILDING FLOOR PLAN F



PROPOSED BUILDING ROOF PLAN F

EXISTING ELEVATIONS

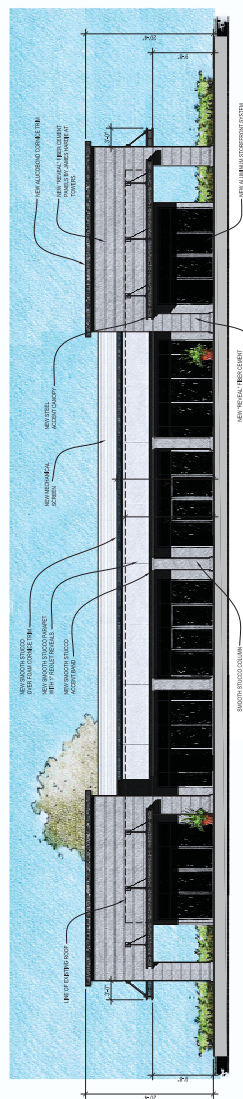
FRONT ELEVATION

LEFT ELEVATION

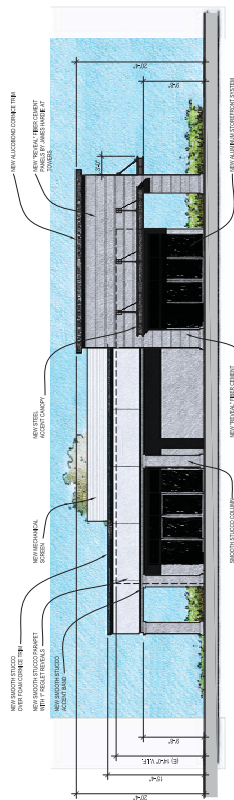
RIGHT ELEVATION

REAR ELEVATION

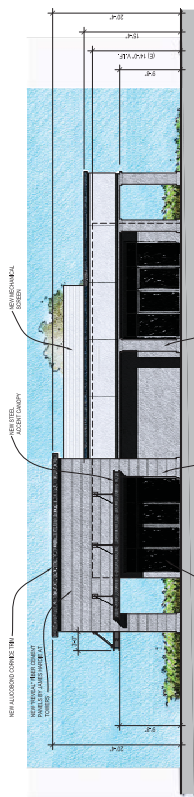
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

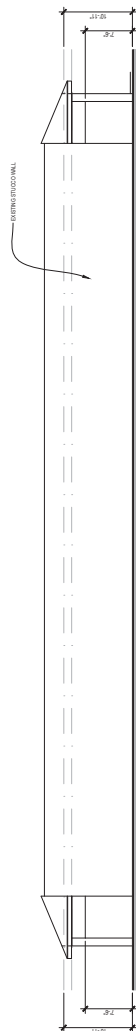


THE HONALI PLAZA

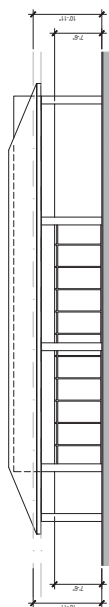
A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL

EXISTING ELEVATIONS

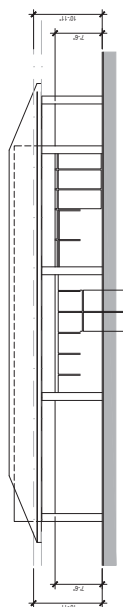
REAR ELEVATION



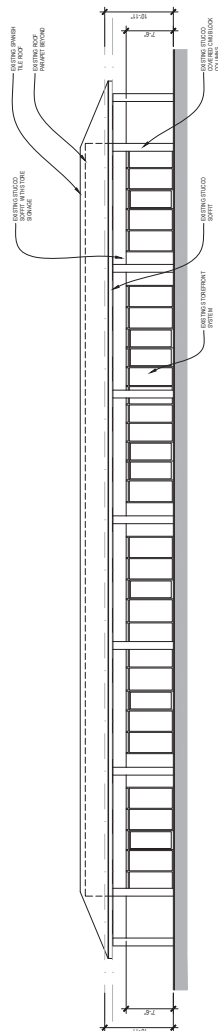
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

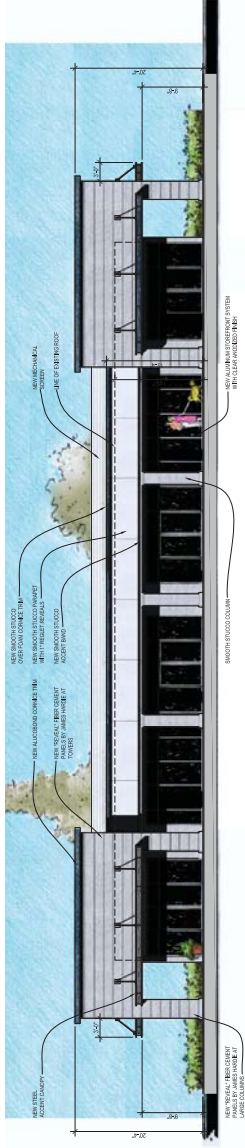


LEFT ELEVATION
SCALE 1/8" = 1'-0"

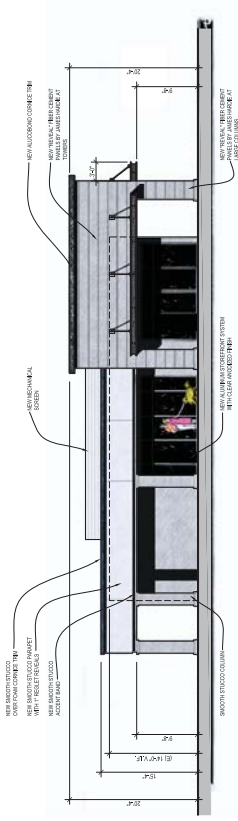


FRONT ELEVATION

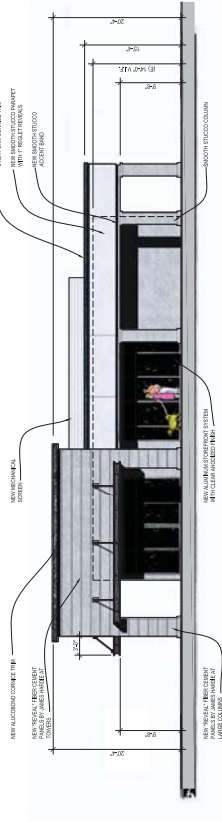




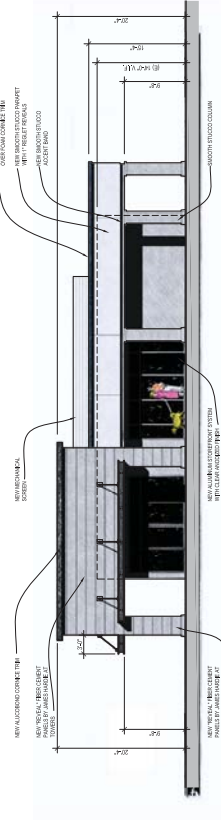
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

PROPOSED BUILDING ELEVATIONS

A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL

THE HONALI PLAZA

24761 ALICIA PARKWAY · LAGUNA HILLS · CALIFORNIA

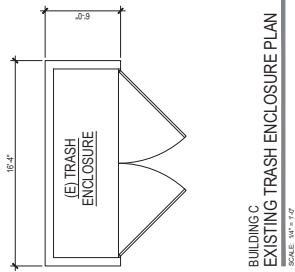
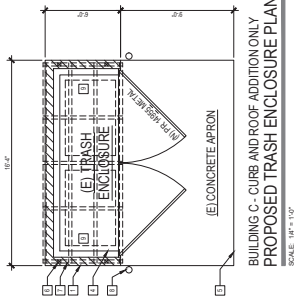
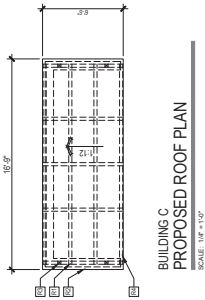
JANUARY 12, 2022



17000 Sky Park Circle, Suite 10
Irvine, California 92614 • 949
1774-6813 • www.gbarch.com

A-7.5

PROJECT # 190101



PLAN GENERAL NOTES

- 1. GENERAL CONTRACTOR TO VERIFY ALL ELEVATION CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. ALL ELEVATIONS ARE TO FINISH UNLESS OTHERWISE NOTED.
- 2. ALL MATERIALS AND FINISHES TO MATCH EXISTING AS FURNISHED BY BUILDING CODES.

PLAN KEY NOTES

- 1. EXISTING CONCRETE APRON
- 2. NEW 1/2" DIA. BLOCK WALL
- 3. EXISTING CURB
- 4. NEW 1/2" DIA. BLOCK WALL
- 5. NEW CONCRETE APRON, AS NEEDED FIELD VERIFY
- 6. NEW 1/2" DIA. BLOCK WALL, FINISH TO MATCH EXISTING
- 7. NEW 1/2" DIA. BLOCK WALL, FINISH TO MATCH EXISTING
- 8. NEW 1/2" DIA. BLOCK WALL, FINISH TO MATCH EXISTING
- 9. EXISTING METAL ROOF
- 10. NEW 1/2" DIA. BLOCK WALL
- 11. NEW 1/2" DIA. BLOCK WALL
- 12. NEW 1/2" DIA. BLOCK WALL

ELEVATION NOTES

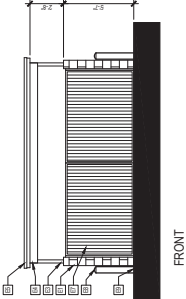
- 1. GENERAL CONTRACTOR TO VERIFY ALL ELEVATION CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. ALL ELEVATIONS ARE TO FINISH UNLESS OTHERWISE NOTED.
- 2. ALL MATERIALS AND FINISHES TO MATCH EXISTING AS FURNISHED BY BUILDING CODES.

ELEVATION KEY NOTES

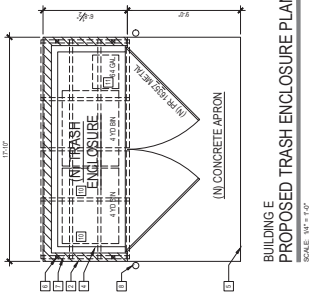
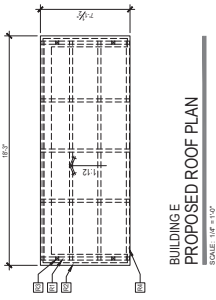
- 1. EXISTING CONCRETE APRON
- 2. NEW 1/2" DIA. BLOCK WALL
- 3. EXISTING CURB
- 4. NEW 1/2" DIA. BLOCK WALL
- 5. NEW CONCRETE APRON, AS NEEDED FIELD VERIFY
- 6. NEW 1/2" DIA. BLOCK WALL, FINISH TO MATCH EXISTING
- 7. NEW 1/2" DIA. BLOCK WALL, FINISH TO MATCH EXISTING
- 8. NEW 1/2" DIA. BLOCK WALL, FINISH TO MATCH EXISTING
- 9. EXISTING METAL ROOF
- 10. NEW 1/2" DIA. BLOCK WALL
- 11. NEW 1/2" DIA. BLOCK WALL
- 12. NEW 1/2" DIA. BLOCK WALL

ROOF KEY NOTES

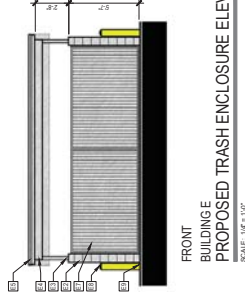
- 1. EXISTING CONCRETE APRON
- 2. NEW 1/2" DIA. BLOCK WALL
- 3. EXISTING CURB
- 4. NEW 1/2" DIA. BLOCK WALL
- 5. NEW CONCRETE APRON, AS NEEDED FIELD VERIFY
- 6. NEW 1/2" DIA. BLOCK WALL, FINISH TO MATCH EXISTING
- 7. NEW 1/2" DIA. BLOCK WALL, FINISH TO MATCH EXISTING
- 8. NEW 1/2" DIA. BLOCK WALL, FINISH TO MATCH EXISTING
- 9. EXISTING METAL ROOF
- 10. NEW 1/2" DIA. BLOCK WALL
- 11. NEW 1/2" DIA. BLOCK WALL
- 12. NEW 1/2" DIA. BLOCK WALL



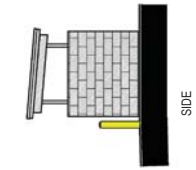
BUILDING C PROPOSED TRASH ENCLOSURE ELEVATIONS



BUILDING E PROPOSED TRASH ENCLOSURE PLAN



BUILDING E PROPOSED TRASH ENCLOSURE ELEVATIONS



SIDE

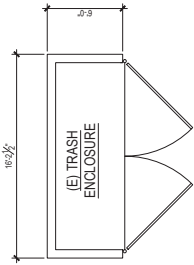
PROPOSED BUILDING E AND C TRASH ENCLOSURES
A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL
THE HONALI PLAZA
24761 ALICIA PARKWAY · LAGUNA HILLS · CALIFORNIA



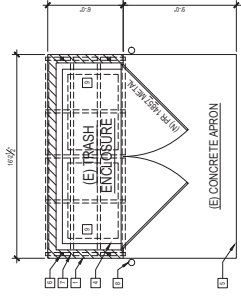
A-8.1
PROJECT # 190701

SEPTEMBER 23, 2021

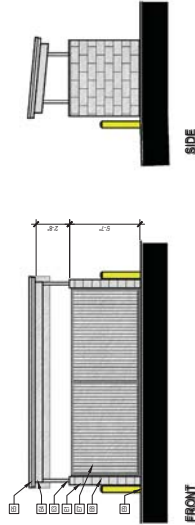
17095 Sky Park Circle, Suite 10
Irvine, California 92614-4300
714.448.3339 M-F 9AM-5PM



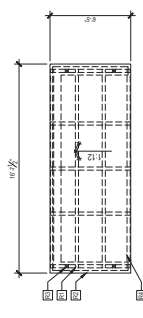
BUILDING D
EXISTING TRASH ENCLOSURE PLAN
SCALE: 1/8" = 1'-0"



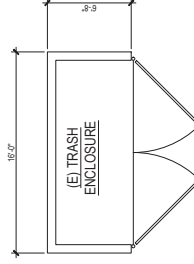
BUILDING D - CURB AND ROOF ADDITION ONLY
PROPOSED TRASH ENCLOSURE PLAN
SCALE: 1/8" = 1'-0"



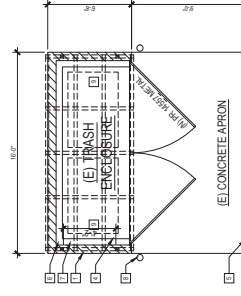
FRONT
PROPOSED TRASH ENCLOSURE ELEVATIONS
SCALE: 1/8" = 1'-0"



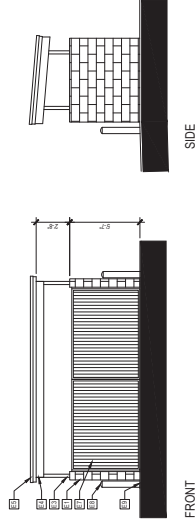
BUILDING D
PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"



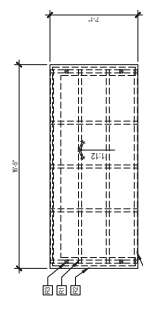
BUILDING F
EXISTING TRASH ENCLOSURE PLAN
SCALE: 1/8" = 1'-0"



BUILDING F - CURB AND ROOF ADDITION ONLY
PROPOSED TRASH ENCLOSURE PLAN
SCALE: 1/8" = 1'-0"



FRONT
PROPOSED TRASH ENCLOSURE ELEVATIONS
SCALE: 1/8" = 1'-0"



BUILDING F
PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"

PLAN GENERAL NOTES

- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO THE FIELD PRIOR TO CONSTRUCTION.
- ALL MATERIALS AND FINISHES TO BE IN ACCORDANCE WITH THE BUILDING CODE.

PLAN KEY NOTES

- 1 EXISTING CONCRETE WALL
- 2 NEW CONCRETE WALL
- 3 NEW CONCRETE WALL
- 4 NEW CONCRETE WALL
- 5 NEW CONCRETE WALL
- 6 NEW CONCRETE WALL
- 7 NEW CONCRETE WALL
- 8 NEW CONCRETE WALL
- 9 NEW CONCRETE WALL
- 10 NEW CONCRETE WALL
- 11 NEW CONCRETE WALL

ELEVATION NOTES

- CONNECTION TO EXISTING STRUCTURE TO BE VERIFIED BY THE GENERAL CONTRACTOR.

ELEVATION KEY NOTES

- 1 EXISTING CONCRETE WALL
- 2 NEW CONCRETE WALL
- 3 NEW CONCRETE WALL
- 4 NEW CONCRETE WALL
- 5 NEW CONCRETE WALL
- 6 NEW CONCRETE WALL
- 7 NEW CONCRETE WALL
- 8 NEW CONCRETE WALL
- 9 NEW CONCRETE WALL
- 10 NEW CONCRETE WALL
- 11 NEW CONCRETE WALL

ROOF KEY NOTES

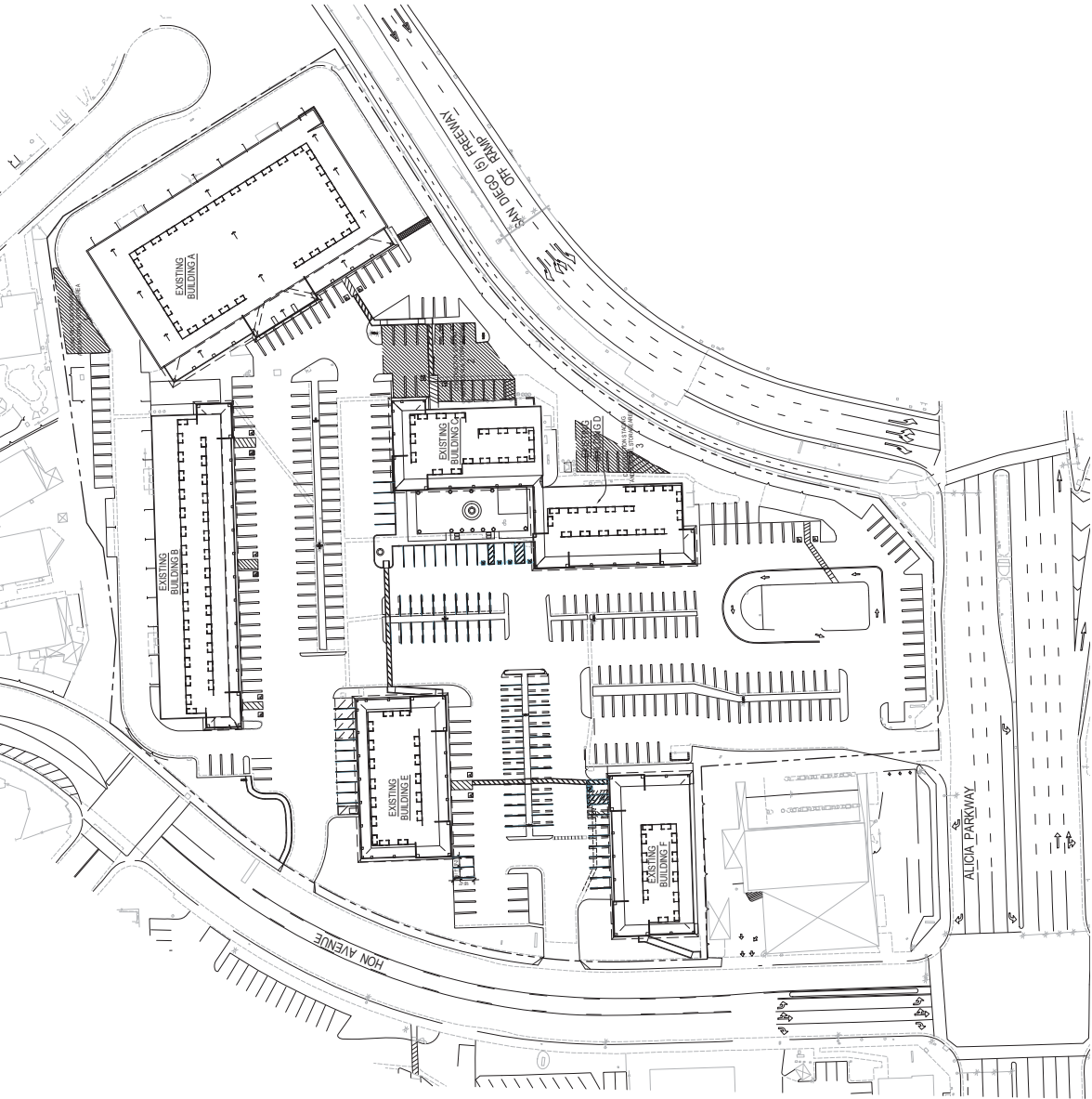
- 1 EXISTING ROOF
- 2 NEW ROOF
- 3 NEW ROOF
- 4 NEW ROOF
- 5 NEW ROOF
- 6 NEW ROOF
- 7 NEW ROOF
- 8 NEW ROOF
- 9 NEW ROOF
- 10 NEW ROOF
- 11 NEW ROOF

PROPOSED BUILDING D AND F TRASH ENCLOSURES
A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL

THE HONALI PLAZA

24761 ALICIA PARKWAY · LAGUNA HILLS · CALIFORNIA

SEPTEMBER 23, 2021



CONSTRUCTION STAGING
SCALE 1" = 40'-0"

A RETAIL TRANSFORMATION FOR WARMINGTON COMMERCIAL

THE HONALI PLAZA

24761 ALICIA PARKWAY · LAGUNA HILLS · CALIFORNIA

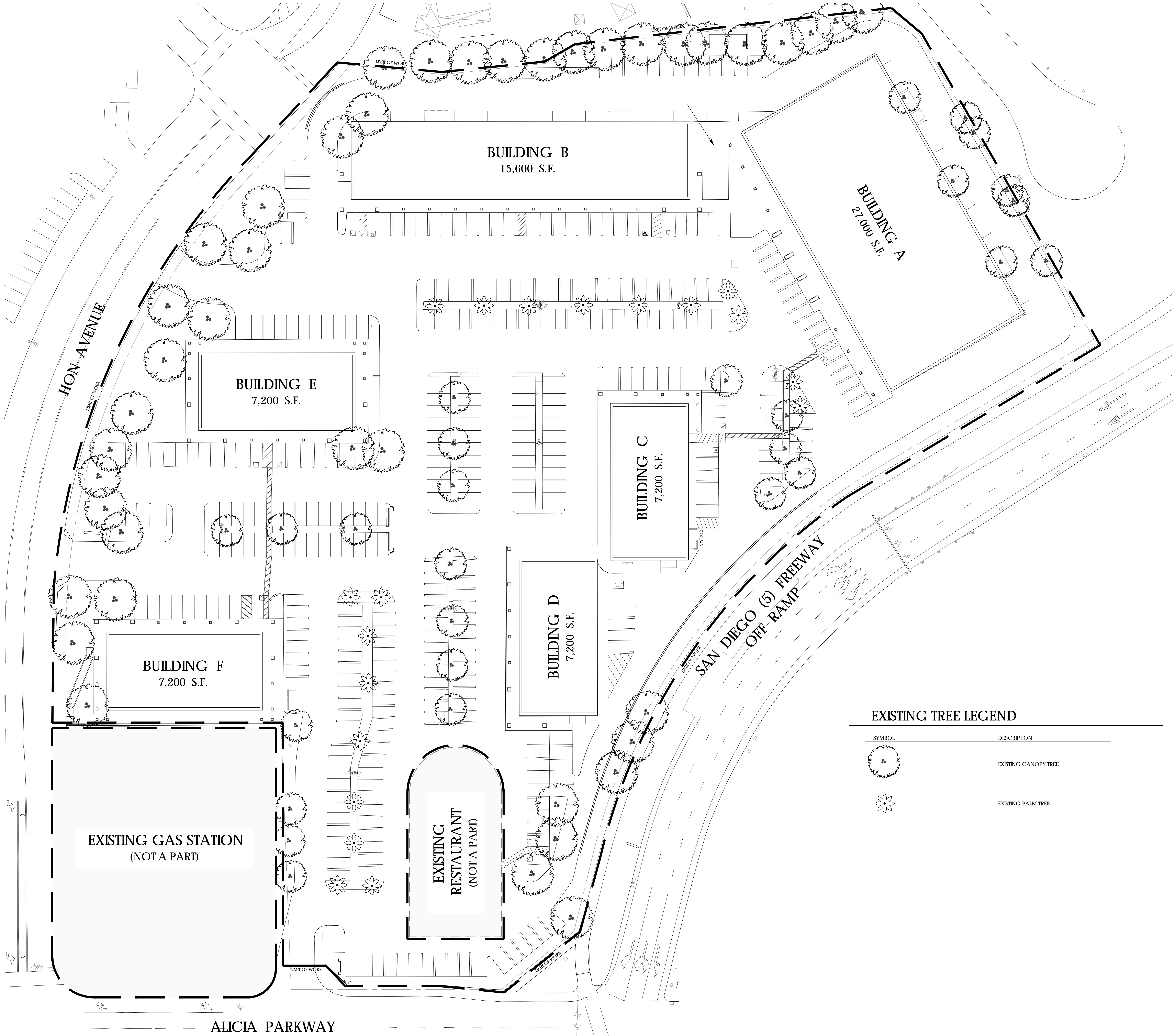
A-9.1
PROJECT # 190701



17080 Sky Park Circle, Suite 10
Irvine, California 92614-4300
TEL: 949.251.9100 FAX: 949.251.9100



SEPTEMBER 23, 2021



17985 Sky Park Circle, Suite G
Irvine, California 92614 - 4350
T 714 486 3318 . M 949 338 6420

DECLARATION OF COPYRIGHT:
GB ARCHITECTURE HEREBY EXPRESSLY RESERVES
COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS
IN THESE PLANS AND DRAWINGS. THESE DOCUMENTS
ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN
ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE
EXPRESSED WRITTEN PERMISSION AND CONSENT OF
GB ARCHITECTURE NOR ARE THEY TO BE ASSIGNED TO ANY
THIRD PARTY WITHOUT SAID WRITTEN CONSENT.



Landscape Architecture C&A 5231
Planning + Design + Sustainability
143 S. Olive St. | Orange CA 92664
www.terraintegration.com
714-724-9814

WARMINGTON COMMERCIAL
HONALI PLAZA
24761 ALICIA PARKWAY LAGUNA HILLS, CA 92653

PROJECT NO.	190101
PLAN CHECK NO.	
DATE:	MAR. 10, 2020
SUBMITTAL LOG	
DESCRIPTION	DATE
FIRST PLANNING SUBMITTAL	APR. 15, 2020
SECOND PLANNING SUBMITTAL	AUG. 27, 2021

REVISION LOG		DATE
NO.	REVISION	

EXISTING SITE PLAN

LC-0.0



DEVELOPMENT STANDARDS CALCULATIONS

ITEM	STANDARD	PROPOSED
LOT SIZE	10,000 S.F. MIN.	347,499 S.F.
LOT COVERAGE	50% MAX.	20% (71,400 S.F.)
LANDSCAPE COVERAGE	15% MIN.	15 % (54,013 S.F.)
TOTAL PARKING STALLS		388
1 TREE PER 6 PARKING STALLS	65	89
RENOVATED LANDSCAPE		43,327 S.F.
LANDSCAPE REMOVED		787 S.F.
ADDED LANDSCAPE		5,000 S.F.

SHADE CALCULATIONS

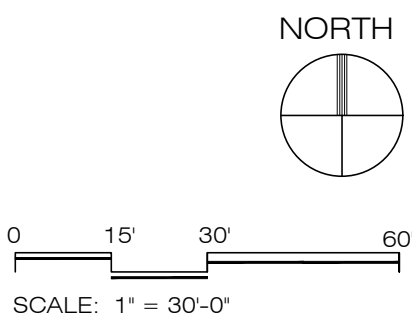
SYMBOL	ITEM	REQUIRED	PROPOSED
	PARKING SQUARE FOOTAGE	61,525 S.F.	
	5 YEAR MATURITY SHADE PERCENTAGE	40%	30%
	SHADE RADIUS OF MATURE CANOPY		

WATER EFFICIENT LANDSCAPE NOTES

- IRRIGATION PLANS FOR HONALI PLAZA SHALL ADHERE TO MWELO (AB1881) STANDARDS AND CONDITIONS INCLUDING THE CITY OF LAGUNA HILLS WATER CONSERVATION ORDINANCE
- ALL LANDSCAPE SHALL BE WATERED BY A PERMANENT & AUTOMATIC IRRIGATION SYSTEM
- CONTRACTOR SHALL INSTALL A WEATHER BASED SMART CONTROLLER OR USE SOIL AND/OR RAIN SENSORS
- CONTROLLER SHALL BE LOCATED OUTDOORS ONSITE UNDER APPROVAL OF OWNER IN A LOCKING VANDAL RESISTANT ENCLOSURE
- ALL SHRUBS & GROUND COVER SHALL BE IRRIGATED WITH A LOW VOLUME DRIP SYSTEM AND/OR HIGH EFFICIENCY NOZZLES
- TREES SHALL BE WATERED BY DEEP ROOT WATERING SYSTEMS ON SEPARATE VALVES FROM SHRUBS
- EACH HYDROZONE SHALL HAVE PLANT MATERIALS WITH SIMILAR WATER USE AND WATERED SEPARATELY THAN DIFFERING WATER USES
- A SEPARATE DESIGNATED WATER METER (OR SUB METER) SHALL BE INSTALLED OR UTILIZED SPECIFICALLY FOR IRRIGATION PURPOSES

CONCEPTUAL LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE
EXISTING & NEW SITE TREES				
	EXISTING CUPANOPSIS ANACARDIODES AND FICUS RUBIGINOSA			
	OPTIONS TO BE REPLACED WITH:			
	CERCIDBUM "DESERT MUSEUM"	DESERT MUSEUM PALO VERDE	LOW	24" - 36" BOX
	GLEDITSIA TRICANTHOS "THORNLESS"	HONEY LOCUST TREE	MED	
	QUERCUS TOMENTELLA	ISLAND OAK	LOW	
RHUS LANCEA	AFRICAN SUMAC	LOW		
	EXISTING EUCALYPTUS CAMALDULENSIS	RIVER RED GUM		
	EXISTING PINUS	PINE		
	EXISTING PYRUS KAWAKUMI	EVERGREEN PEAR		
	EXISTING SYAGRUS ROMANZOFFIANA	QUEEN PALM		
	NEW SYAGRUS ROMANZOFFIANA	QUEEN PALM	MED	15' BTH +/-
PARKING LOT & SCREEN TREE				
	CUPANOPSIS ANACARDIODES	CARROTWOOD	MED	24"-36" BOX
	QUERCUS TOMENTELLA	ISLAND OAK	LOW	
COURTYARD ACCENT TREE				
	EUCALYPTUS PULVERULENTA	BABY BLUE EUCALYPTUS		LOW
	FEJOA SELLOWIANA	PINEAPPLE GUAVA		LOW
COURTYARD SPECIMEN TREE				
	OLEA EUROPAEA SWAN HILL	FRUITLESS OLIVE		LOW
COURTYARD PLANTER				
	DRACAENA DRACO	DRAGON TREE		LOW
	OLEA LITTLE OLIE®	LITTLE OLIE OLIVE		LOW
EXISTING SHRUB				
	RHAPHIOLEPS INDICA	INDIAN HAWTHORNE		
ACCENT SHRUB				
	AGAVE SPP.	AGAVE		LOW
	DIANELLA TASMANICA VARIEGATA	FLAX LILY		MED
	MUELENBERGIA CAPILLARIS	GULF MUHLY		LOW
	PHORMIUM DUET	DWARF VARIEGATED FLAX		MED
NEW SHRUB (TO REPLACE ALL TURF AREAS)				
	MEDIUM/LARGE			
	HETEROMELES ARBUTIFOLIA	TOYON		LOW
	OLEA EUROPAEA "LITTLE OLIVE"	LITTLE OLIE OLIVE		LOW
	PITCOPOPIUM VARIEGATA	VARIEGATED PITCOPOPIUM		MED
	SMALL			LOW
	ROSMARINUS TUSCAN BLUE	TUSCAN BLUE ROSEMARY		LOW
	CISTUS SKANBERGII	PINK ROCKROSE		LOW
	ERIGERON KARVINSKIANUS	SANTA BARBARA DASY		LOW
	GREVILLEA LITTLE JOHN®	DWARF BOTTLEBRUSH		MED
	LAVANDULA PROVENCE	PROVENCE LAVENDER		LOW
GROUND COVER				
	AEONUM URBICUM	SALAD BOWL		LOW
	BOUGAINVILLEA SPP.	BOUGAINVILLEA		LOW
	FESTUCA GLAUCA	BLUE FESCUE		LOW
	FRAGARIA CALIFORNICA	CALIFORNIA STRAWBERRY		LOW
	ROSMARINUS HUNTINGTON CARPET®	HUNTINGTON CARPET		LOW



17985 Sky Park Circle, Suite G
Irvine, California 92614 - 4350
T 714 486 3318 . M 949 338 6420

DECLARATION OF COPYRIGHT:
GB ARCHITECTURE HEREBY EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DRAWINGS. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF GB ARCHITECTURE. NO ONE IS TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT SAID WRITTEN CONSENT.

terrain
INTEGRATION
Landscape Architecture C&A 5231
Planning + Design + Sustainability
143 S. Olive St. | Orange CA 92664
www.terrainintegration.com
714-724-9814

WARMINGTON COMMERCIAL
HONALI PLAZA
24761 ALICIA PARKWAY LAGUNA HILLS, CA 92653

PROJECT NO.	190101
PLAN CHECK NO.	
DATE:	MAR. 10, 2020
SUBMITTAL LOG	
DESCRIPTION	DATE
FIRST PLANNING SUBMITTAL	APR. 15, 2020
SECOND PLANNING SUBMITTAL	AUG. 27, 2021

REVISION LOG		DATE
NO.	REVISION	

CONCEPTUAL SITE PLAN

LC-1.0



'OPAL' ROUND POTS



'CARDIF' RECTANGLE AND SQUARE POTS



RAISED PLANTER W/ SPECIMEN TREE



BOARD FORM FINISH FOR RAISED PLANTER



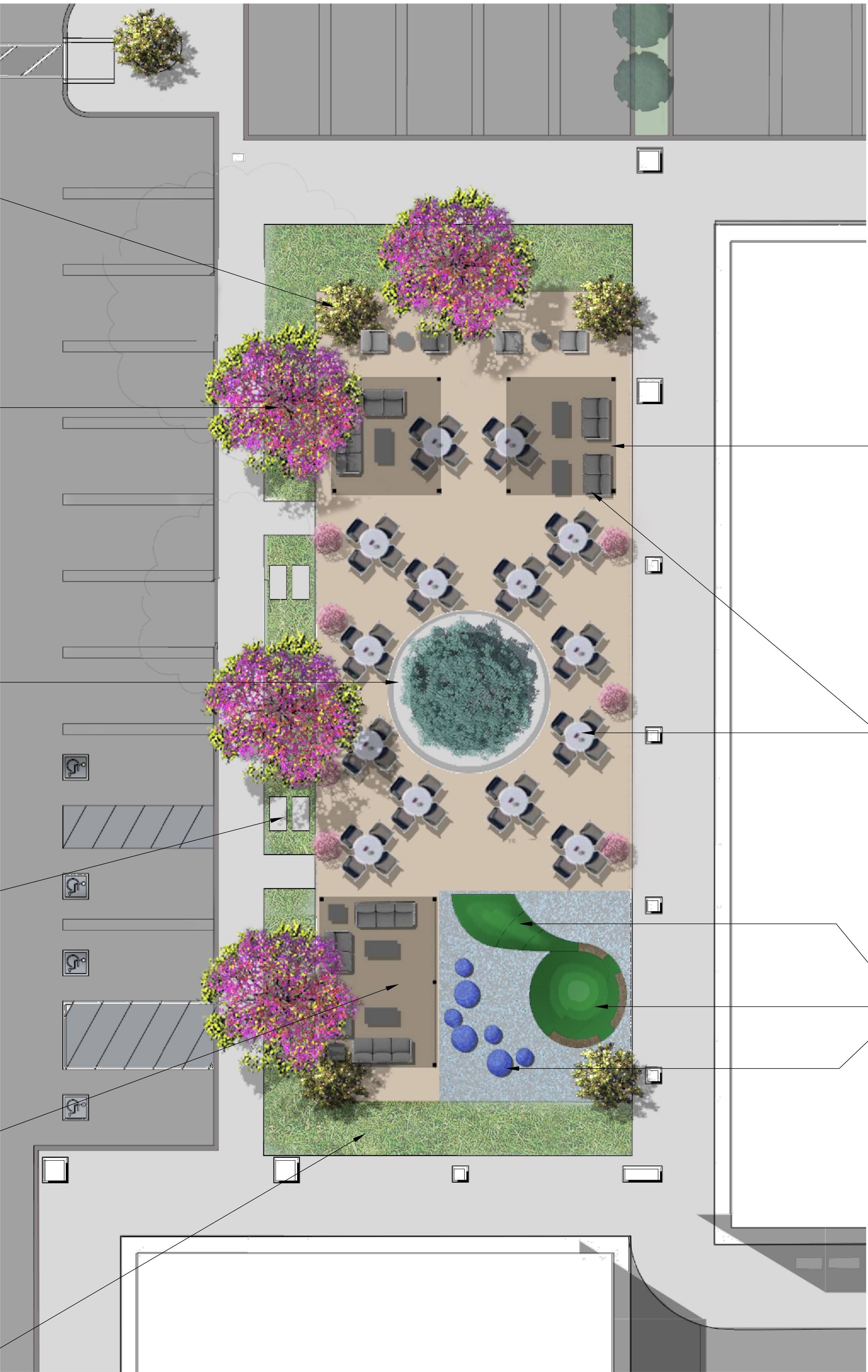
PAVERS IN GRASS



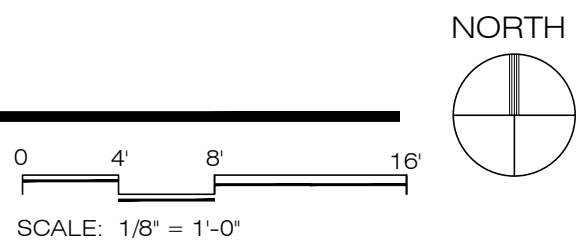
SEEDED CONCRETE JOINT ACCENTS
UNDER AWNING SEATING AREAS



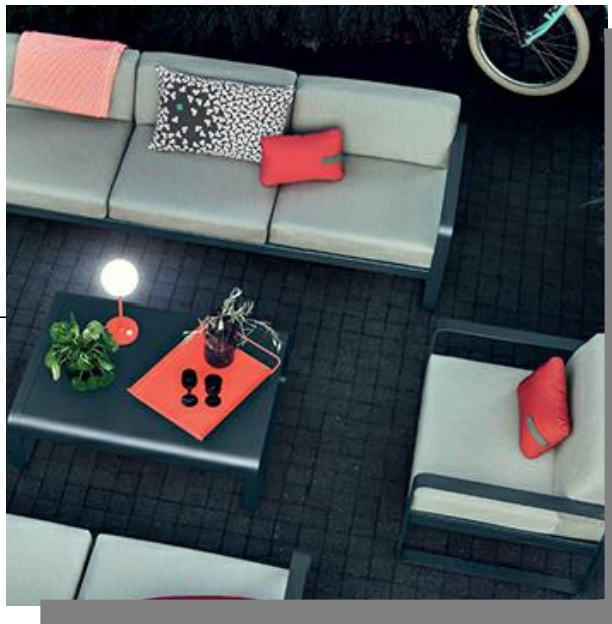
NO MOW FESCUE BORDER



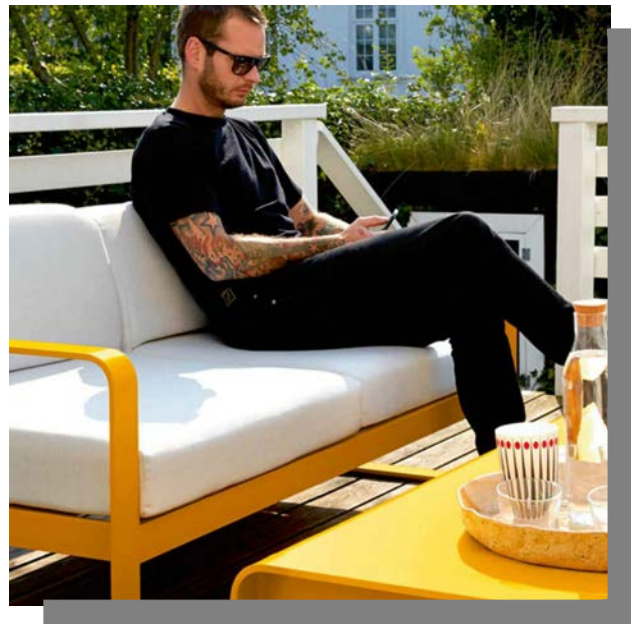
COURTYARD SITE AMENITIES INSPIRATIONAL IMAGERY



LOUNGE SHADE STRUCTURE OPTIONS



LOUNGE SEATING



LOUNGE SEATING

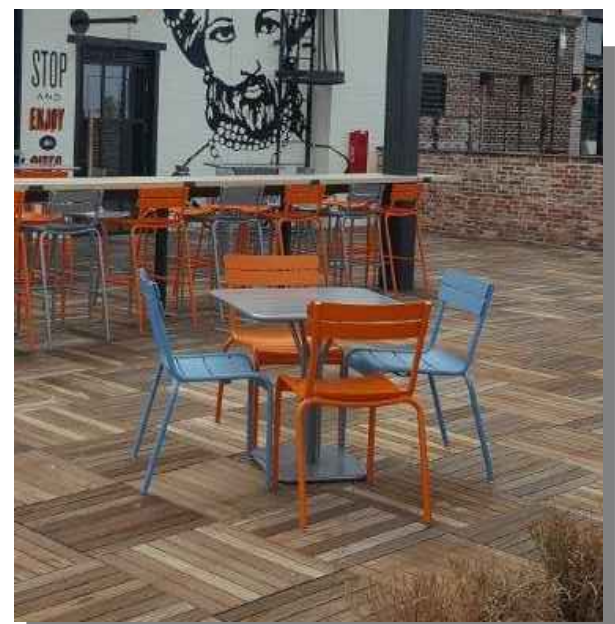


TABLE AND CHAIR SEATING



PLAYGROUND- BUBBLE MOUNDS

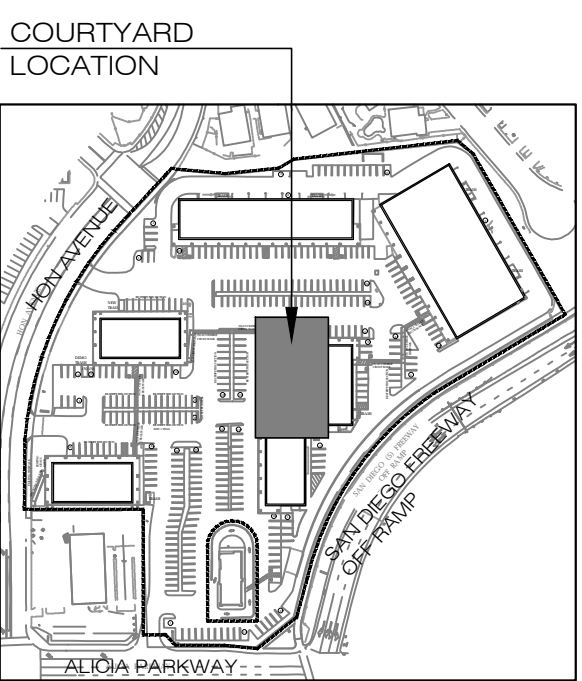


PLAYGROUND- TURF TUNNEL



PLAYGROUND- TURF HILL

SEE LC-1.0 FOR CONCEPTUAL PLANTING LEGEND
SEE LC-3.0 FOR PLANT IMAGES



17985 Sky Park Circle, Suite G
Irvine, California 92614 - 4350
T 714 486 3318 . M 949 338 6420

DECLARATION OF COPYRIGHT:
GB ARCHITECTURE HEREBY EXPRESSLY RESERVES
COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS
IN THESE PLANS AND DRAWINGS. THESE DOCUMENTS
ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN
ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE
EXPRESSED WRITTEN PERMISSION AND CONSENT OF
GB ARCHITECTURE NOR ARE THEY TO BE ASSIGNED TO ANY
THIRD PARTY WITHOUT SAID WRITTEN CONSENT.



Landscape Architecture C&A 5231
Planning + Design + Sustainability
143 S. Olive St. | Orange CA 92666
www.terraintegration.com
714-724-9814

WARINGTON COMMERCIAL
HONALI PLAZA
24761 ALICIA PARKWAY, LAGUNA HILLS, CA 92653

PROJECT NO.	190101
PLAN CHECK NO.	
DATE:	MAR. 10, 2020
SUBMITTAL LOG	
DESCRIPTION	DATE
FIRST PLANNING SUBMITTAL	APR. 15, 2020
SECOND PLANNING SUBMITTAL	AUG. 27, 2021
REVISION LOG	
NO. REVISION	DATE

CONCEPTUAL
COURTYARD PLAN
LC-2.0

PLANT IMAGERY

NEW TREE OPTIONS



CERCIDIUM



GLEDITSIA



QUERCUS



RHUS

COURTYARD
ACCENT TREE

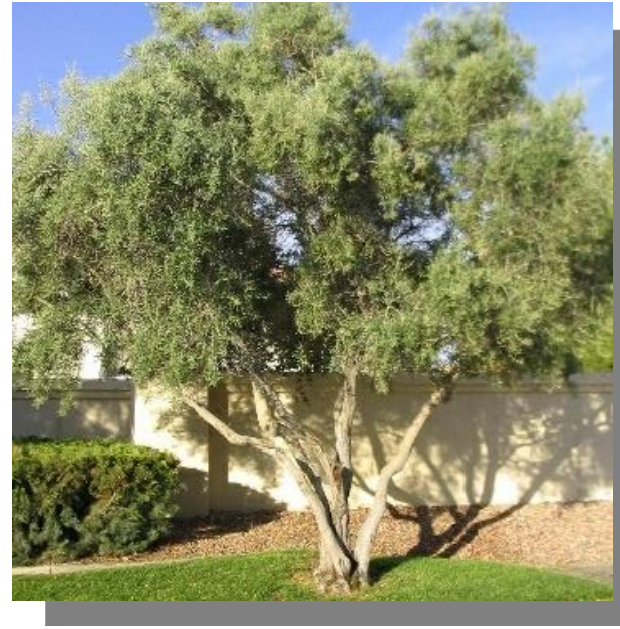


FICUS



EUCALYPTUS

COURTYARD
SPECIMEN TREE



OLEA - MULTI TRUNK

COURTYARD PLANTERS



DRACAENA



OLEA - IN POT



LOMANDRA



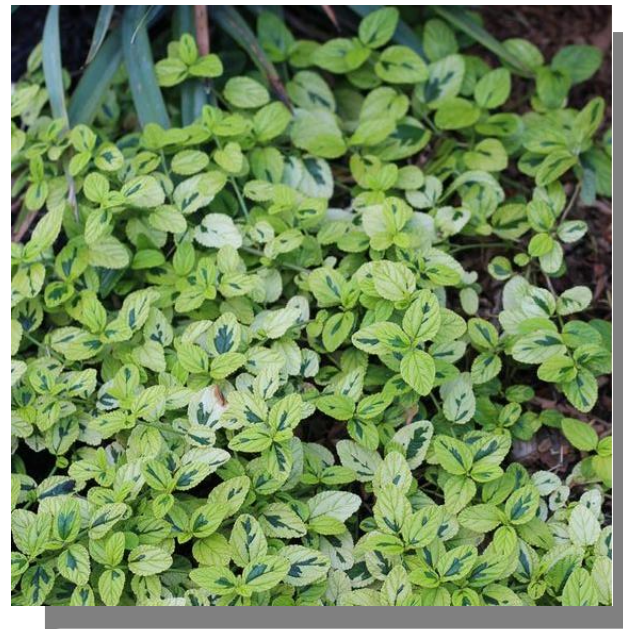
SANSEVIERIA



SENECIO FISH HOOKS



SENECIO JACOBSONII



CEANOTHUS

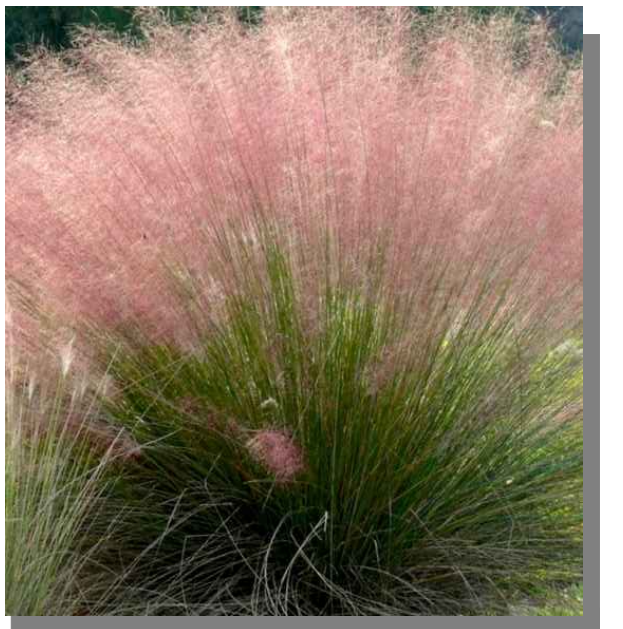
ACCENT SHRUB



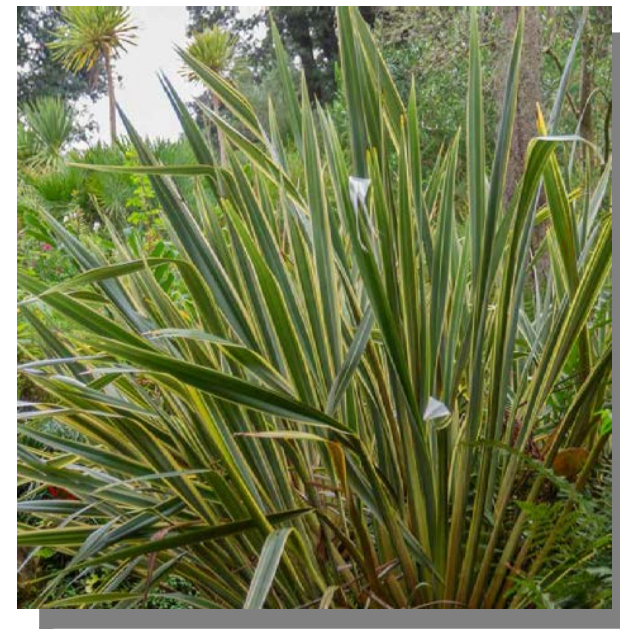
AGAVE



DIANELLA



MUHLENBERGIA CAPILLARIS



PHORMIUM

GROUND COVER



AEONIUM URVICUM

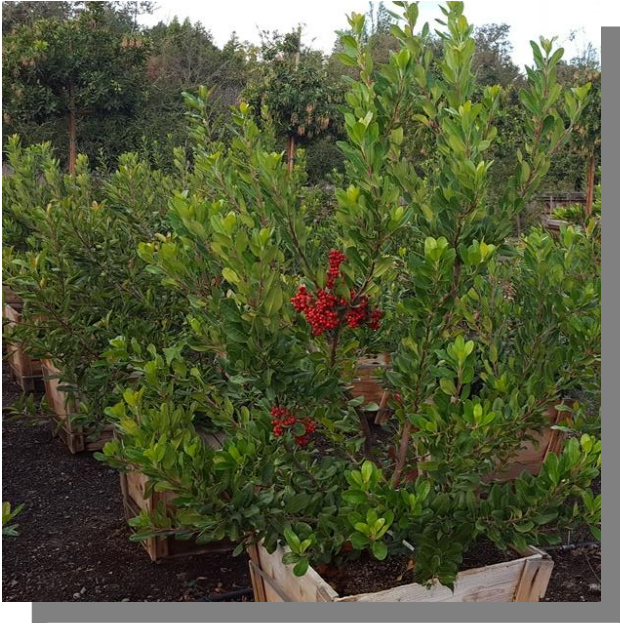


BOUGAINVILLEA



FESTUCA GLAUCA

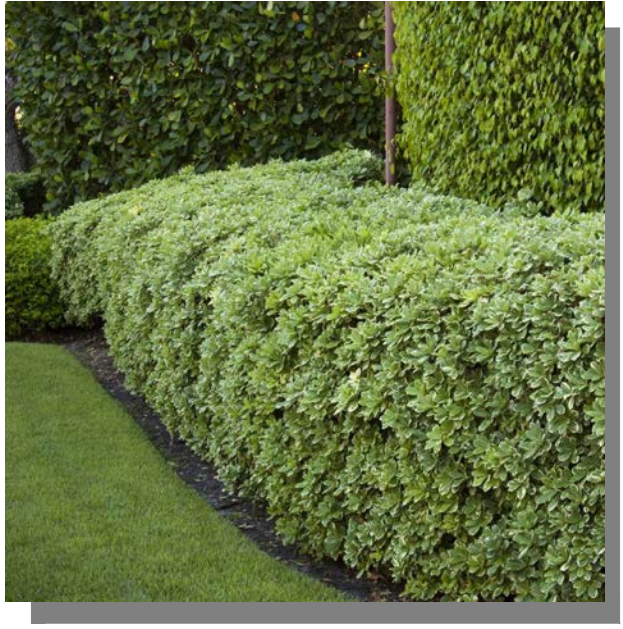
NEW SHRUB
MED-LARGE



HETEROMELES



OLEA LITTLE OLLIE



PITTOSPORUM



ROSEMARINUS



FRAGERIA



ROSMARINUS PROSTRATUS

NEW SHRUB
SMALL



CISTUS



ERIGERON



CASTILLEMON



LAVANDULA



17985 Sky Park Circle, Suite G
Irvine, California 92614 - 4350
T 714 486 3318 . M 949 338 6420

DECLARATION OF COPYRIGHT:
GB ARCHITECTURE HEREBY EXPRESSLY RESERVES
COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS
IN THESE PLANS AND DRAWINGS. THESE DOCUMENTS
ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN
ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE
EXPRESSED WRITTEN PERMISSION AND CONSENT OF
GB ARCHITECTURE NOR ARE THEY TO BE ASSIGNED TO ANY
THIRD PARTY WITHOUT SAID WRITTEN CONSENT.

terrai
INTEGRATION
Landscape Architecture CA#5231
Planning + Design + Sustainability
143 S. Olive St. | Orange | CA 92666
www.terraiintegration.com
714-724-9814

WARMINGTON COMMERCIAL
HONALI PLAZA
24761 ALICIA PARKWAY, LAGUNA HILLS, CA 92653

PROJECT NO.		190101
PLAN CHECK NO.		
DATE:		MAR. 10, 2020
SUBMITTAL LOG		
DESCRIPTION		DATE
FIRST PLANNING SUBMITTAL		APR. 15, 2020
SECOND PLANNING SUBMITTAL		AUG. 27, 2021
REVISION LOG		
NO.	REVISION	DATE

CONCEPTUAL
PLANT IMAGES
LC-3.0