

ENTITLEMENT PACKAGE

ALICIA TOWN CENTER

LAGUNA HILLS, CA

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- 21. DRAINAGE DETAILS
- 22. UTILITY PLAN

PROPERTY OWNER/APPLICANT

ALISO EQUITIES, LTD
2901 W. COAST HWY., SUITE 200
NEWPORT BEACH, CA 92663
P: 714-715-0669
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EMAIL: LACHER@ROADRUNNER.COM

ARCHITECT / LANDSCAPE ARCH.

AO ARCHITECTS
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ORANGE, CA 92866
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EMAIL: SCOTTJ@AOARCHITECTS.COM

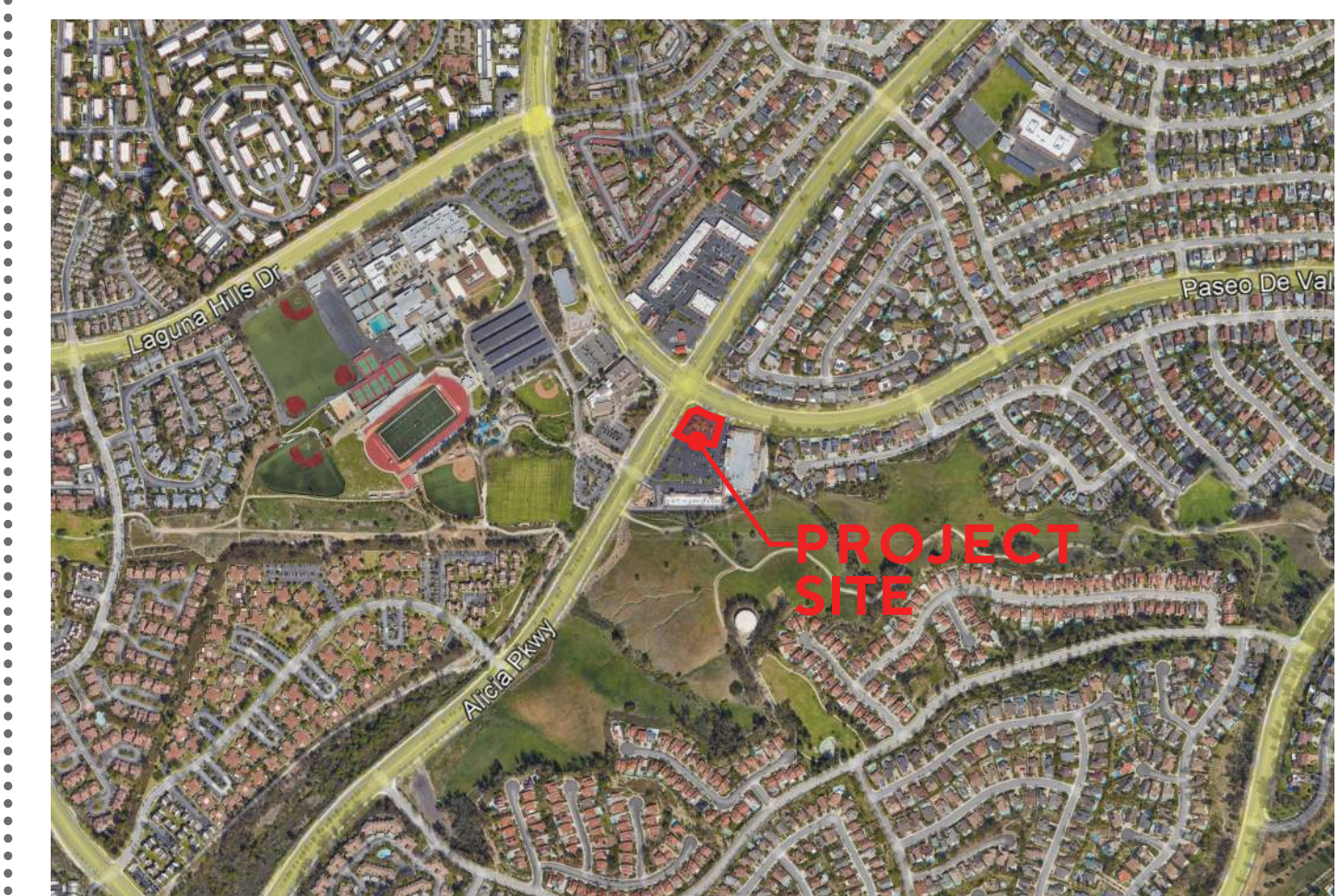
LANDSCAPE:
CONTACT: DIEGO ALESSI
EMAIL: DIEGOA@AOARCHITECTS.COM

CIVIL ENGINEER

KIMLEY-HORN
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P: 714-939-1030
CONTACT: RYAN ALVAREZ
EMAIL: RYAN.ALVAREZ@KIMLEY-HORN.COM

AUGUST 2, 2024

CUP / Site Development Permit #0110-2022(Ralphs)



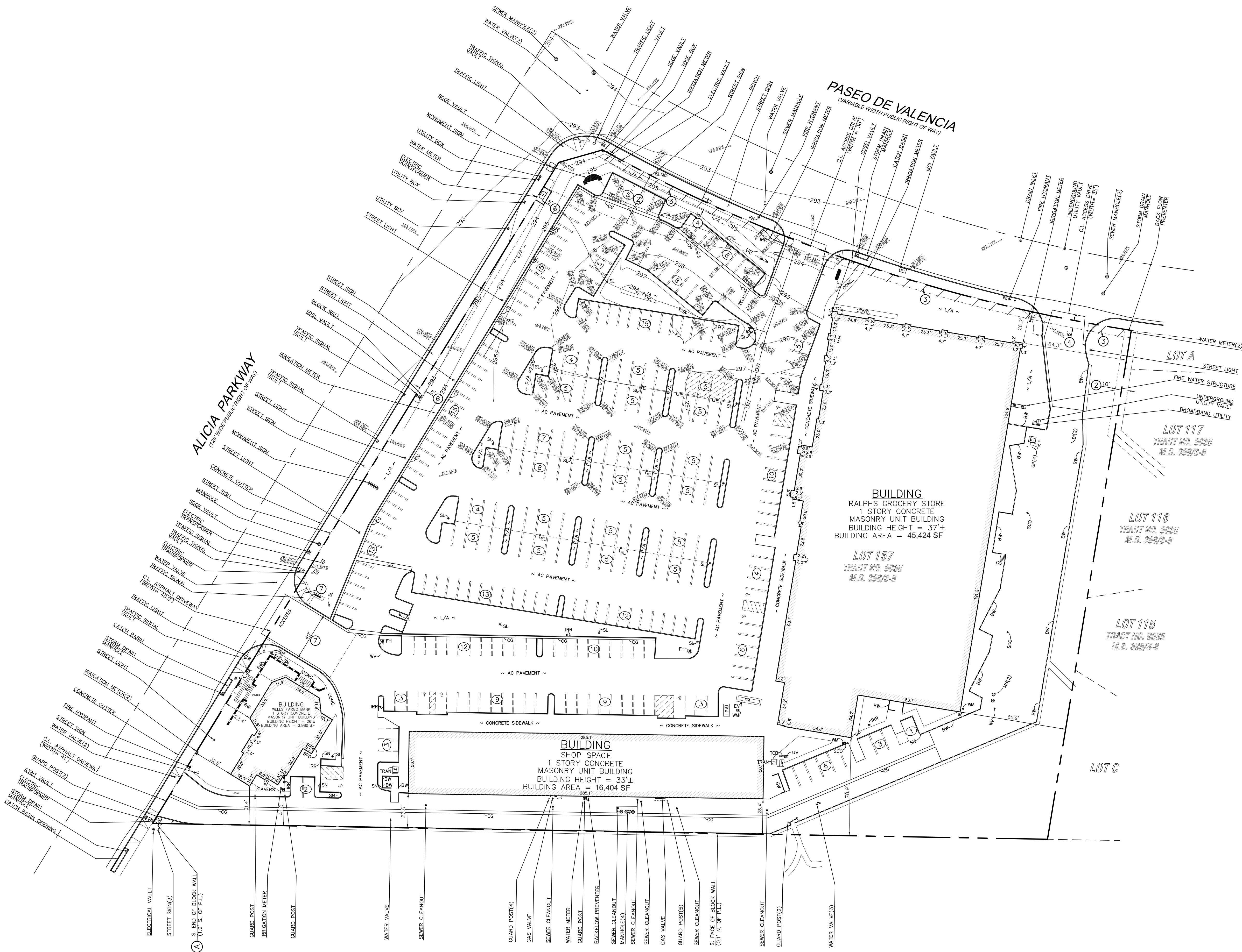
NOTES:
-AO ARCHITECTS AUTHORIZES PLANS TO BE PUBLISHED.
-SIGNAGE TO BE UNDER SEPARATE SUBMITTAL.

ALISO EQUITIES, LTD



SITE DATA TABLE	
EXISTING STORE AREA	65,808 SF
EXISTING PARKING STALLS	306
EXISTING PARKING RATIO	4.65

NOTE:
EV CHARGING STALLS TO BE UNDER FUTURE SEPARATE PERMIT



- LEGEND:**
- (TYP) = TYPICAL
 - AC = ASPHALTIC CONCRETE
 - AT&T = AMERICAN TELEPHONE AND TELEGRAPH
 - APN = ASSESSORS PARCEL NUMBER
 - BFD = BACK FLOW DEVICE
 - BK = BOOK
 - BW = BLOCK WALL
 - CB = CATCH BASIN
 - CG = CONCRETE GUTTER
 - CL = CENTER LINE
 - CLF = CHAIN LINK FENCE
 - CONC = CONCRETE
 - CS = CONCRETE STAIRS
 - D/W = DRIVEWAY
 - DW = DRAIN INLET
 - EW = WATER PIPE LINE
 - ET = EAST
 - ET = ELECTRIC TRANSFORMER
 - EV = ELECTRIC VAULT
 - EM = ELECTRIC METER
 - FD = FOUND
 - FDC = FIRE DEPARTMENT CONNECTION
 - FH = FIRE HYDRANT
 - FSC = FIRE SERVICE CONNECTION
 - FT = FOOT
 - GP = GAS METER
 - GP = GUARD POST
 - GV = GAS VALVE
 - IRR = IRRIGATION BOX
 - LP = LIGHT POLE
 - LT&T = LEAD TACK & TAG
 - L.S. = LICENSED SURVEYOR
 - N = NORTH
 - N.E.LY = NORTHEASTERLY
 - N.W.LY = NORTHWESTERLY
 - OH = OVERHANG
 - O.R. = OFFICIAL RECORDS
 - PG = PAGE
 - PA = PLANTER AREA
 - PIV = POST INDICATOR VALVE
 - P.L. = PROPERTY LINE
 - PP = POWER POLE
 - P.S. = PARKING STALL(S)
 - S = SOUTH
 - SCO = SEWER CLEAN OUT
 - SDMH = STORM DRAIN MANHOLE
 - S.E.LY = SOUTHEASTERLY
 - S.F. = SQUARE FEET
 - SL = STREET LIGHT
 - SMH = SEWER MANHOLE
 - SN = SIGN
 - S.W.LY = SOUTHWESTERLY
 - TL = TRASH ENCLOSURE
 - TCB = TELECOMMUNICATION BOX
 - TS = TRAFFIC SIGNAL
 - T.R. = TITLE REPORT
 - TRAN = TRANSFORMER
 - UE = UTILITY ELECTRIC LINE
 - UV = UTILITY VAULT
 - UB = UTILITY BOX
 - W = WEST
 - W/W = WITH
 - WM = WATER METER
 - WV = WATER VALVE

BENCH MARK:
COUNTY OF ORANGE BM #3HH-2-77
DESCRIBED BY OCS 2003 - FOUND 3 3/4" OCS ALUMINUM
BENCHMARK DISK STAMPED "3HH-2-77", SET IN THE
NORTHWESTERLY CORNER OF A 4 FT. BY 8 FT. CONCRETE CATCH
BASIN. MONUMENT IS LOCATED IN THE SOUTHEASTLY CORNER OF
THE INTERSECTION OF ALICIA PARKWAY AND PASEO DE VALENCIA,
51 FT. SOUTHEASTERLY OF THE CENTERLINE OF ALICIA AND 425 FT.
NORTHEASTERLY OF THE CENTERLINE OF PASEO DE VALENCIA.
MONUMENT IS SET LEVEL WITH THE SIDEWALK.
ELEVATION = 292.162 (NAVD88, LEVELED 1991)

ALICIA TOWN CENTER

ALISO EQUITIES, LTD

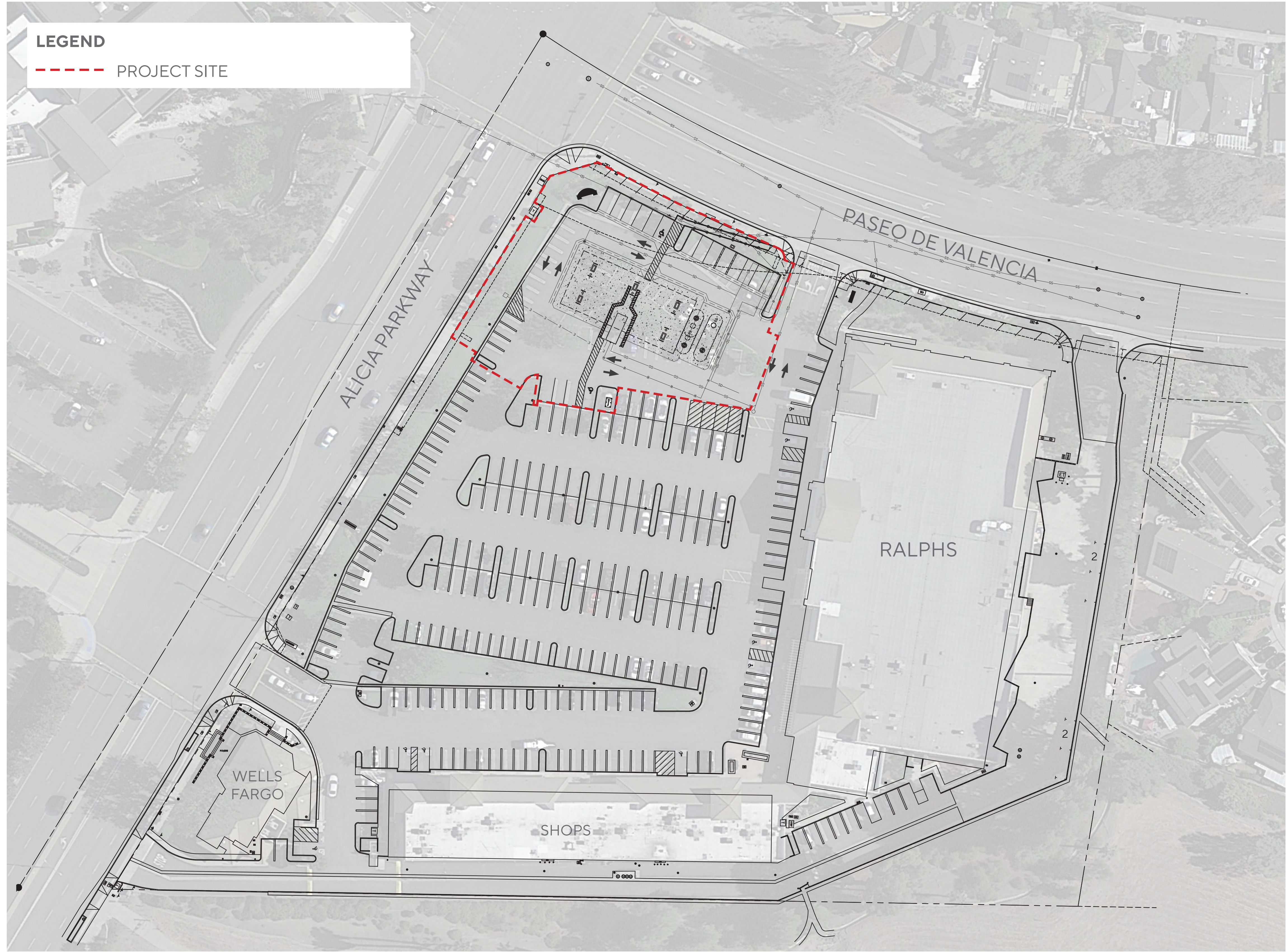
Laguna Hills, CA

EXISTING SITE PLAN
Conditional Use Permit / Site Development Permit #0110-2022(Ralphs)



01

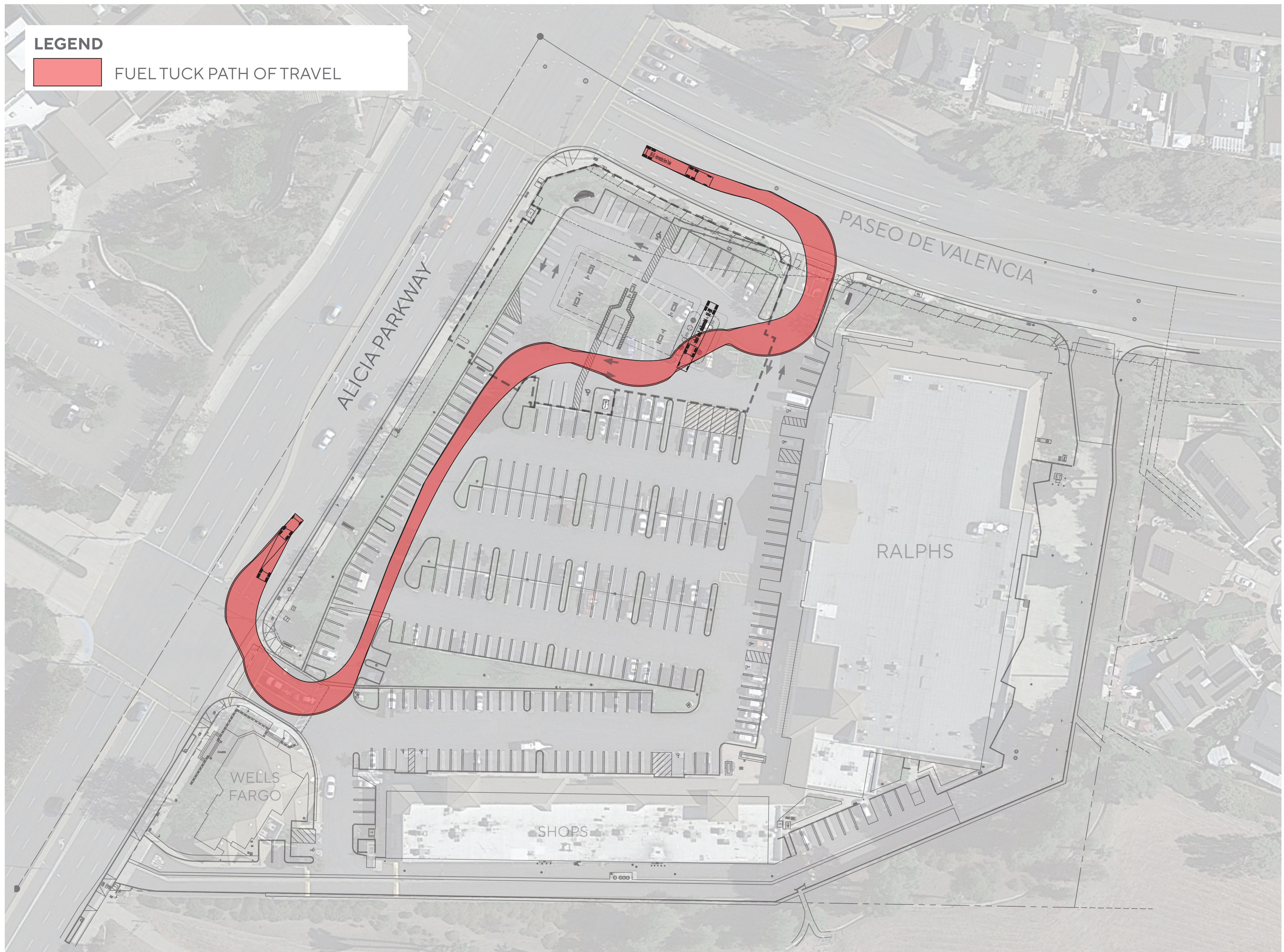
Scale
Job No.
Date
1" = 40'
2022-877
2024-06-18

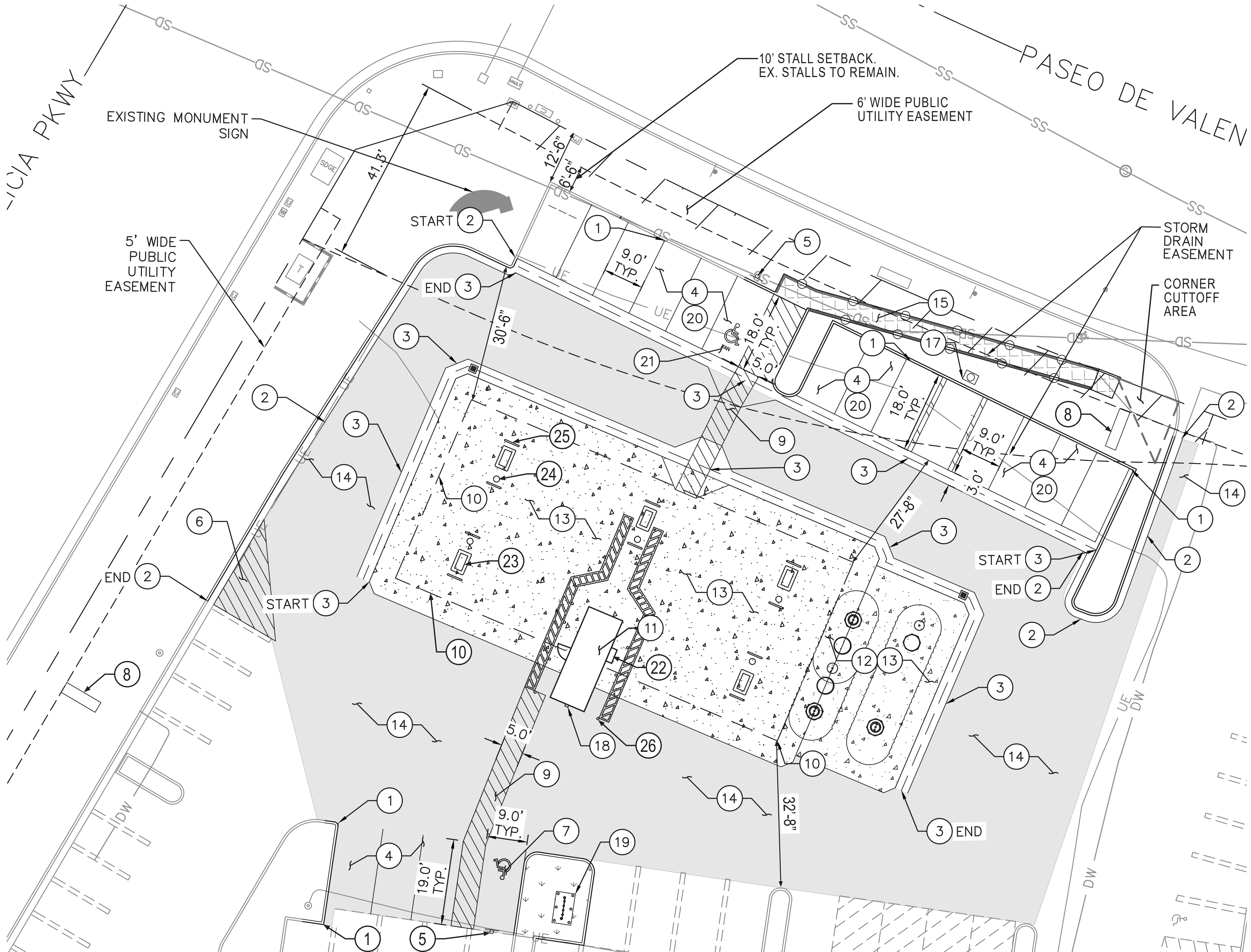


DEVELOPMENT SUMMARY TABLE:				
PROJECT ADDRESS: 25594 ALICIA PKWY LAGUNA HILLS, CA 92653				
GENERAL LOCATION: SEC ALICIA PKWY AND PASEO DE VALENCIA				
PROJECT DESCRIPTION:				
PROPOSED FUEL STATION FACILITY WITH PRE-FABRICATED KIOSK				
DEVELOPMENT INFORMATION:				
APN:	625-081-04			
EXISTING ZONING	CC			
EXISTING LOT SIZE	280,091	SF	6.43	AC
PROPOSED PROJECT SITE SIZE	±31,065	SF	0.71	AC
PROPOSED CANOPY AREA:	3,956	SF		
PROPOSED KIOSK AREA:	178	SF		
TOTAL BUILDING AREA:	4,134	SF		
PARKING SETBACK	REQUIRED	PROVIDED		
- FRONT	10 FT.	23 FT.		
- STREET SIDE	11 FT.	26.5 FT.		
BUILDING SETBACK				
- FRONT	20 FT.	±53 FT.		
- STREET SIDE	15 FT.	±39 FT.		
- INTERNAL SIDE	10 FT.	TBD		
- REAR	10 FT.	TBD		

SITE DATA TABLE	
EXISTING STORE AREA	65,808 SF
EXISTING PARKING STALLS	306
PROPOSED STORE AREA	65,986 SF
PROPOSED PARKING STALLS	271

NOTE:
EV CHARGING STALLS TO BE UNDER FUTURE SEPARATE PERMIT





LEGEND

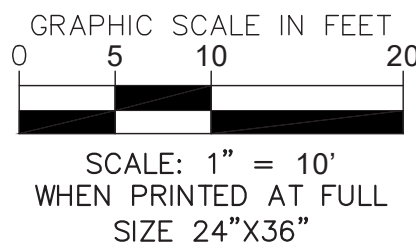
- PROPERTY LINE
- CENTER LINE
- EASEMENT LINE
- HEAVY DUTY ASPHALT
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPING

SITE DATA TABLE

TOTAL STORE AREA	65,808 SF(EXISTING)
PROPOSED KIOSK AREA	178 SF
EXISTING PARKING STALLS	306
PROPOSED PARKING STALLS	271

CONSTRUCTION NOTES

- PROPOSED CONCRETE CURB.
- PROPOSED CONCRETE CURB AND GUTTER.
- PROPOSED 3.0' WIDE VALLEY GUTTER.
- PROPOSED STRIPING. STALLS PER DIMENSIONS SHOWN HEREON. ALL PAINT TO BE WHITE WITH TWO COATS.
- PROPOSED SIGN ON BOLLARD.
- STRIPE WHITE 4" STRIPE, 60 DEGREES, SPACED AT 24" O.C.
- PROPOSED ACCESSIBLE STALL. STALL STRIPING TO BE BLUE. SEE PAD DET.305
- PROPOSED GAS MONUMENT SIGN. SIGNAGE UNDER SEPARATE SUBMITTAL.
- PROPOSED PATH OF TRAVEL STRIPING. STALL STRIPING TO BE YELLOW.
- PROPOSED OVERHEAD CANOPY.
- PROPOSED KIOSK.
- PROPOSED UNDERGROUND GAS STORAGE TANKS.
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT.
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT.
- PROPOSED CONCRETE RAMP WITH HANDRAILS.
- PROPOSED PARALLEL PARKING STALLS. DIMENSIONS PER PLANS.
- PROPOSED AIR & WATER STATION. SEE PAD DET.205
- PROPOSED FUEL OVERFLOW ALARM.
- PROPOSED TANK VENT RISER.
- PROPOSED ASPHALT PAVEMENT.
- PROPOSED ACCESSIBLE VAN STALL. STALL STRIPING TO BE BLUE.
- PROPOSED HAZARDOUS MATERIALS CABINET
- DISPENSER ISLAND (TYP. 5 TOTAL)
- CANOPY STEEL COLUMN WITH CONCRETE BASE (TYP. 5 TOTAL)
- INVERTED U-SHAPED STEEL PIPE GUARD BOLLARD. SEE DET. 105. (TYP. 10 TOTAL)
- STEEL BOLLARD WITH SIGN AT KIOSK CORNERS. SEE DET. 405. (TYP. 4 TOTAL)



Kimley»Horn

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Architecture.
Design.
Relationships.

04

1" = 10'
Job No.
Date
2022-877
2024-06-18

ALICIA TOWN CENTER

Laguna Hills, CA

ALISO EQUITIES, LTD

PROPOSED ENLARGED SITE PLANS

Conditional Use Permit / Site Development Permit #0110-2022(Ralphs)



LEGEND

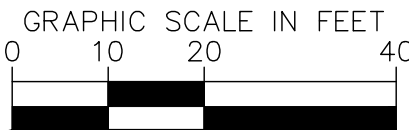
- PROPERTY LINE
CENTER LINE
EASEMENT LINE
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PROPOSED LANDSCAPING

SITE DATA TABLE

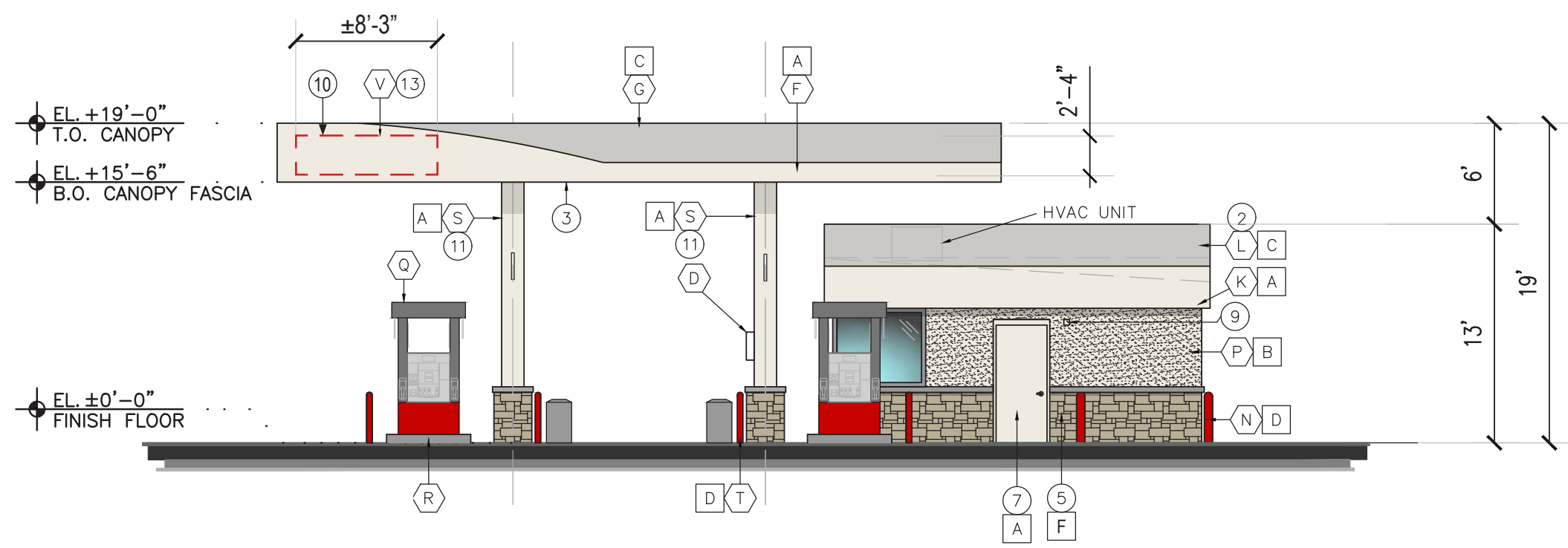
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PROPOSED KIOSK AREA	178 SF
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CONSTRUCTION NOTES

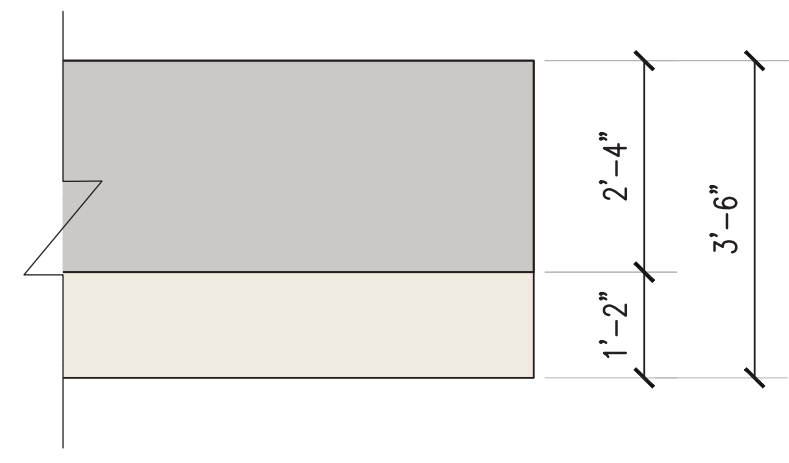
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- PROPOSED SIGN ON BOLLARD.
- STRIPE WHITE 4" STRIPE, 60 DEGREES, SPACED AT 24" O.C.
- PROPOSED ACCESSIBLE STALL. STALL STRIPING TO BE BLUE. SEE PAD DET.3/05
- PROPOSED GAS MONUMENT SIGN. SIGNAGE UNDER SEPARATE SUBMITTAL.
- PROPOSED PATH OF TRAVEL STRIPING. STALL STRIPING TO BE YELLOW.
- PROPOSED OVERHEAD CANOPY.
- PROPOSED KIOSK.
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- PROPOSED HEAVY DUTY CONCRETE PAVEMENT.
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- PROPOSED CONCRETE RAMP WITH HANDRAILS.
- PROPOSED PARALLEL PARKING STALLS. DIMENSIONS PER PLANS.
- PROPOSED AIR & WATER STATION. SEE PAD DET.2/05
- PROPOSED FUEL OVERFLOW ALARM.
- PROPOSED TANK VENT RISER.
- PROPOSED ASPHALT PAVEMENT.
- PROPOSED ACCESSIBLE VAN STALL. STALL STRIPING TO BE BLUE.
- PROPOSED HAZARDOUS MATERIALS CABINET
- DISPENSER ISLAND (TYP. 5 TOTAL)
- CANOPY STEEL COLUMN WITH CONCRETE BASE (TYP. 5 TOTAL)
- INVERTED U-SHAPED STEEL PIPE GUARD BOLLARD. SEE DET. 1/05. (TYP. 10 TOTAL)
- STEEL BOLLARD WITH SIGN AT KIOSK CORNERS. SEE DET. 4/05. (TYP. 4 TOTAL)



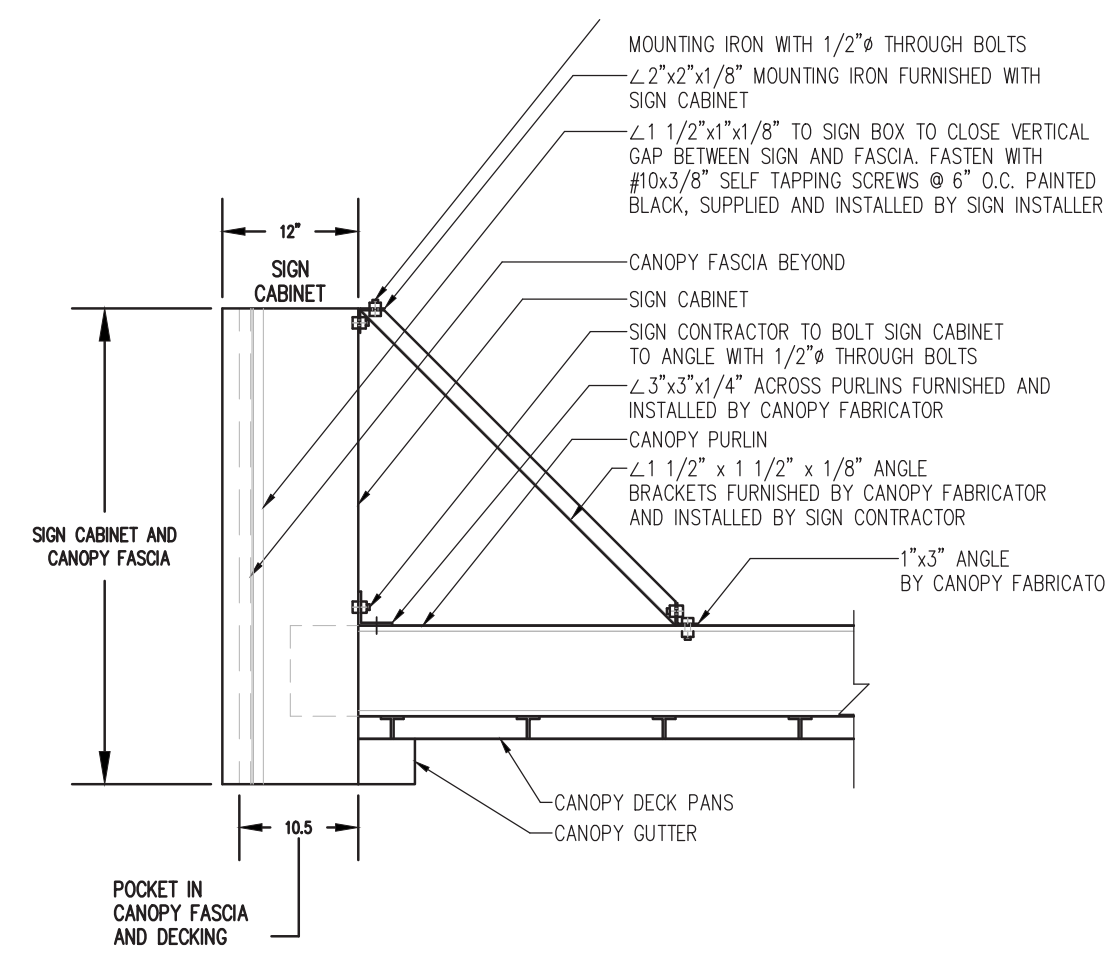
SCALE: 1" = 20'
WHEN PRINTED AT FULL
SIZE 24"x36"



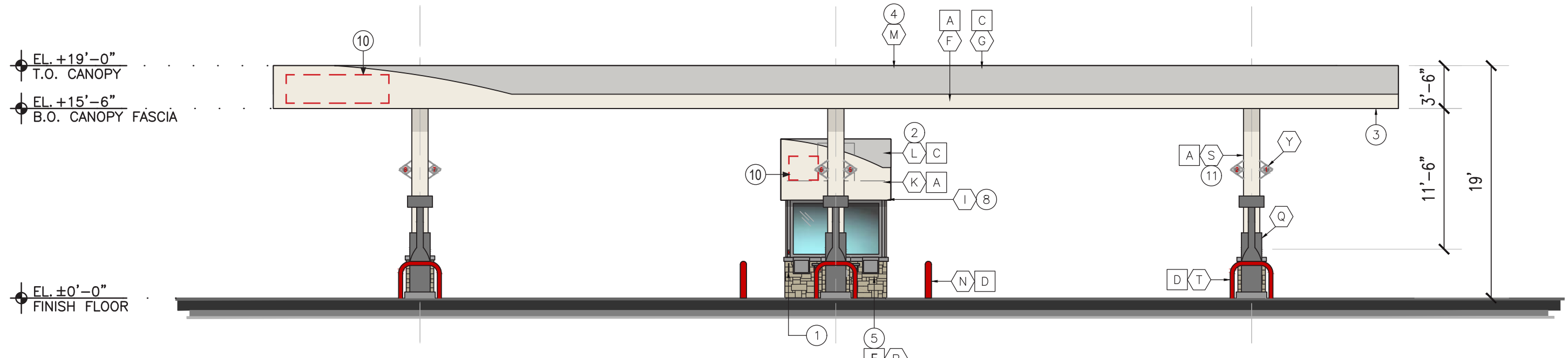
1 WEST ELEVATION
SCALE: 1/8"=1'-0"



5 CANOPY EDGE
SCALE: 1/2"=1'-0"

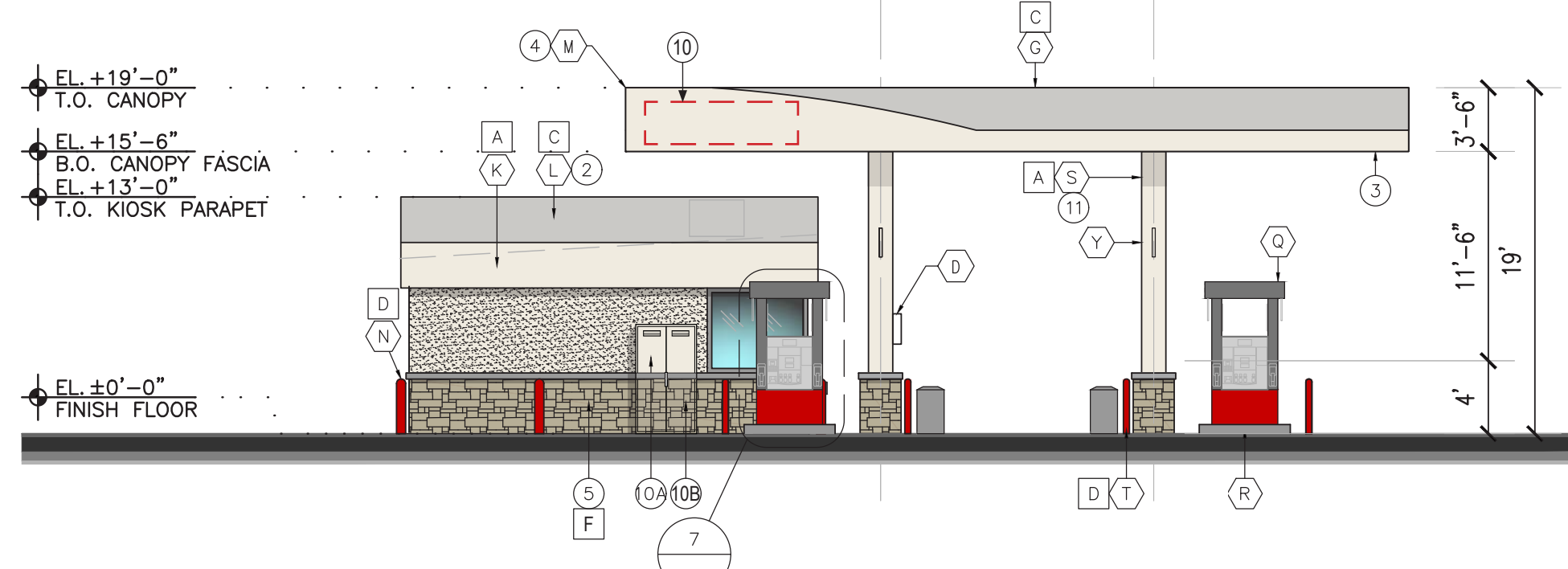


6 SECTION AT CANOPY SIGN
SCALE: NONE

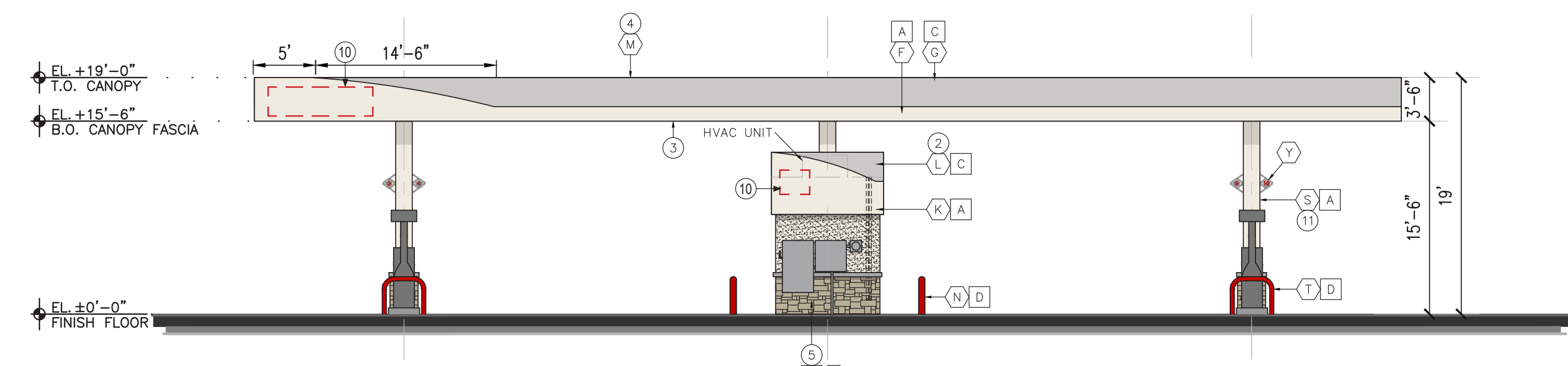


2 NORTH ELEVATION
SCALE: 1/8"=1'-0"

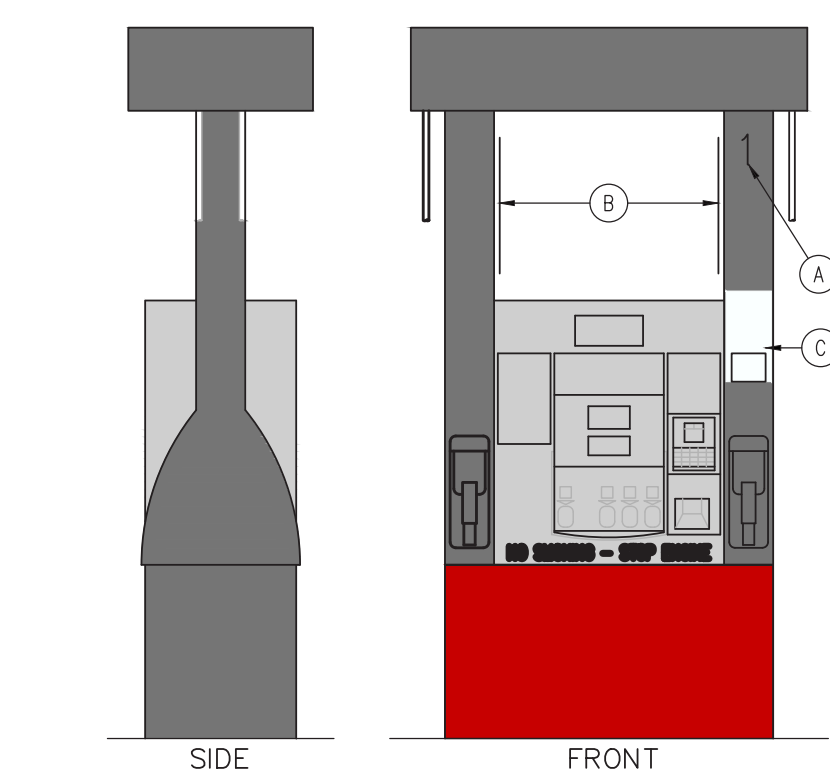
EQUIPMENT SCHEDULE (X)						
ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	4" BLACK VINYL DECAL (DISPENSER NUMBER)				OWNER	GENERAL CONTRACTOR
B	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
C	STATIC WARNING DECAL		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
D	FIRE EXTINGUISHER				OWNER	GENERAL CONTRACTOR
E	NOT USED					
F	CANOPY FASCIA ACM PANEL	SEE LEGEND			CANOPY FABRICATOR	CANOPY FABRICATOR
G	CANOPY FASCIA ACM PANEL	SEE LEGEND			CANOPY FABRICATOR	CANOPY FABRICATOR
H	NOT USED					
I	PRE-CUT BLACK VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
J	NOT USED					
K	KIOSK FASCIA STUCCO FINISH	SEE LEGEND			KIOSK FABRICATOR	KIOSK FABRICATOR
L	KIOSK FASCIA STUCCO FINISH	SEE LEGEND			KIOSK FABRICATOR	KIOSK FABRICATOR
M	CANOPY ACM PANEL				CANOPY FABRICATOR	CANOPY FABRICATOR
N	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
O	NOT USED					
P	KIOSK - PREFABRICATED STUCCO FINISH	SEE LEGEND			KIOSK FABRICATOR	GENERAL CONTRACTOR
Q	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
R	ISLAND FORMS (12ga STAINLESS STEEL)	GRADE 304	RIVERSIDE STEEL		OWNER	GENERAL CONTRACTOR
S	CANOPY COLUMNS - G.C. TO PAINT STEEL COLUMN.	SEE LEGEND			CANOPY FABRICATOR	CANOPY FABRICATOR
T	U-SHAPED BOLLARD - G.C. TO PAINT, 3'-0" IN HEIGHT	SAFETY RED	RIVERSIDE		OWNER	GENERAL CONTRACTOR
U	NON-ILLUMINATED CHANNEL LETTERS		CUMMINGS SIGNS		OWNER	SIGN INSTALLER
V	INTERNALLY ILLUMINATED CHANNEL LETTERS		CUMMINGS SIGNS		OWNER	SIGN INSTALLER
W	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
X	ILLUMINATED LOGO SIGN		CUMMINGS SIGNS		OWNER	SIGN INSTALLER
Y	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR



3 EAST ELEVATION
SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



7 DISPENSER ELEVATION
SCALE: 1/2"=1'-0"

- GENERAL NOTES:
- A. CONTRACTOR SHALL SUBMIT: MASONRY, MORTAR AND PAINT SAMPLES TO RALPHS CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
 - B. PREMANUFACTURED CANOPY AND KIOSK PROVIDED BY OTHERS.
 - C. ALL ON-SITE SIGNAGE UNDER SEPARATE PERMIT.
 - D. FUEL DISPENSERS SHALL COMPLY WITH ACCESSIBLE GUIDELINES.
 - E. DEFERRED SUBMITTAL FOR FIRE SPRINKLER SYSTEM FOR KIOSK AND CANOPY

- KEYED NOTES: (X)
- 1. EMERGENCY STOP SWITCH. PROVIDE PLAQUE ADJACENT TO THE SWITCH "CALL 911 IN CASE OF AN EMERGENCY". ESD SWITCH TO BE NO CLOSER THAN 20' AND NOT FURTHER THAN 100' FROM ALL DISPENSING DEVICES.
 - 2. PARAPET AT KIOSK TO BE TALL ENOUGH TO COMPLETELY CONCEAL ROOF MOUNTED MECHANICAL EQUIPMENT.
 - 3. CANOPY LIGHTS SHALL BE FLUSH OR RECESSED.
 - 4. ACM PANEL. SEE CANOPY DRAWINGS.
 - 5. STONE TO MATCH EXISTING SHOPPING CENTER.
 - 6. WASTE/WINDSHIELD SERVICE CENTER PROVIDED BY OWNER, INSTALLED BY G.C.
 - 7. H.M DOOR AND FRAME.
 - 8. PROVIDE MIN.12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL IN ACCORDANCE WITH MUNICIPALITY.
 - 9. PROVIDE 4" MIN. NO SMOKING SIGNAGE IN ACCORDANCE WITH C.O.P. NO SMOKING ORDINANCE AND STATE REQUIREMENTS.
 - 10. SIGNAGE UNDER SEPARATE SUBMITTAL.
 - 10A. HAZARDOUS MATERIAL STORAGE CABINET. PROVIDED BY OWNER, INSTALLED BY G.C.
 - 10B. STORAGE CABINET PAINTED TO MATCH WALL BEHIND, WITH CUSTOM VINYL DECAL TO MATCH STONE.
 - 11. 16" TUBE STEEL CANOPY COLUMN.
 - 12. PROVIDE MIN.12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL IN ACCORDANCE WITH C.O.A.J. ORDINANCE.
 - 13. PLEX FACED CHANNEL LETTERS, RED #2157, 5" DEEP ALUMINUM SIDES AND BACKS PAINTED BLACK, WHITE NEON ILLUMINATION. TRANSFORMERS TO CONFORM WITH U/L 2161 CODE. TYPE: ALLANSON S583580
 - 14. STAINLESS STEEL WRITING SHELF. RE: KIOSK DRAWINGS
 - 15. STAINLESS STEEL TRANSACTION DRAWER. RE: KIOSK DRAWING
 - 16. BULLET-RESISTANT GLASS. RE: KIOSK DRAWING

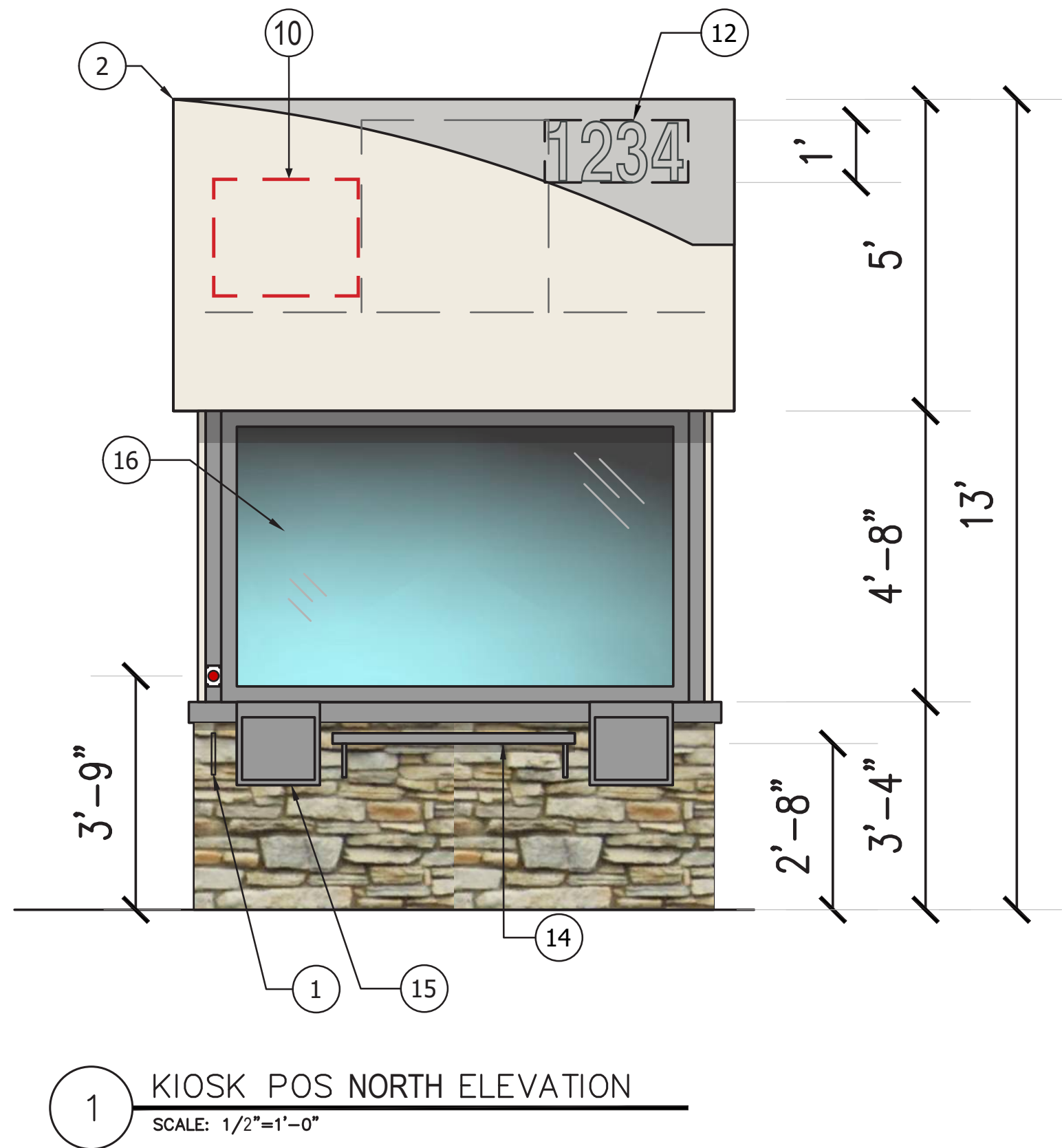
COLOR/FINISH LEGEND: (X)			
A	ACM PANEL FASCIA - ALCOA REYNOBOND MATCH COLOR SW 8917 "SHELL WHITE"	F	STONE TO MATCH EXISTING SHOPPING CENTER. FOG SOUTHERN LEDGE STONE #CSV-2028.
B	MATCH PAINT COLOR - SHERWIN WILLIAMS SW 8917 "SHELL WHITE"		
C	VINYL FILM - 3M SERIES 7125 MATCH COLOR SW 7667 "ZIRCON"		
D	MATCH PAINT COLOR - SHERWIN WILLIAMS SW 4081 "SAFETY RED"		
E	STAINLESS STEEL METAL FORMS NOT PAINTED		

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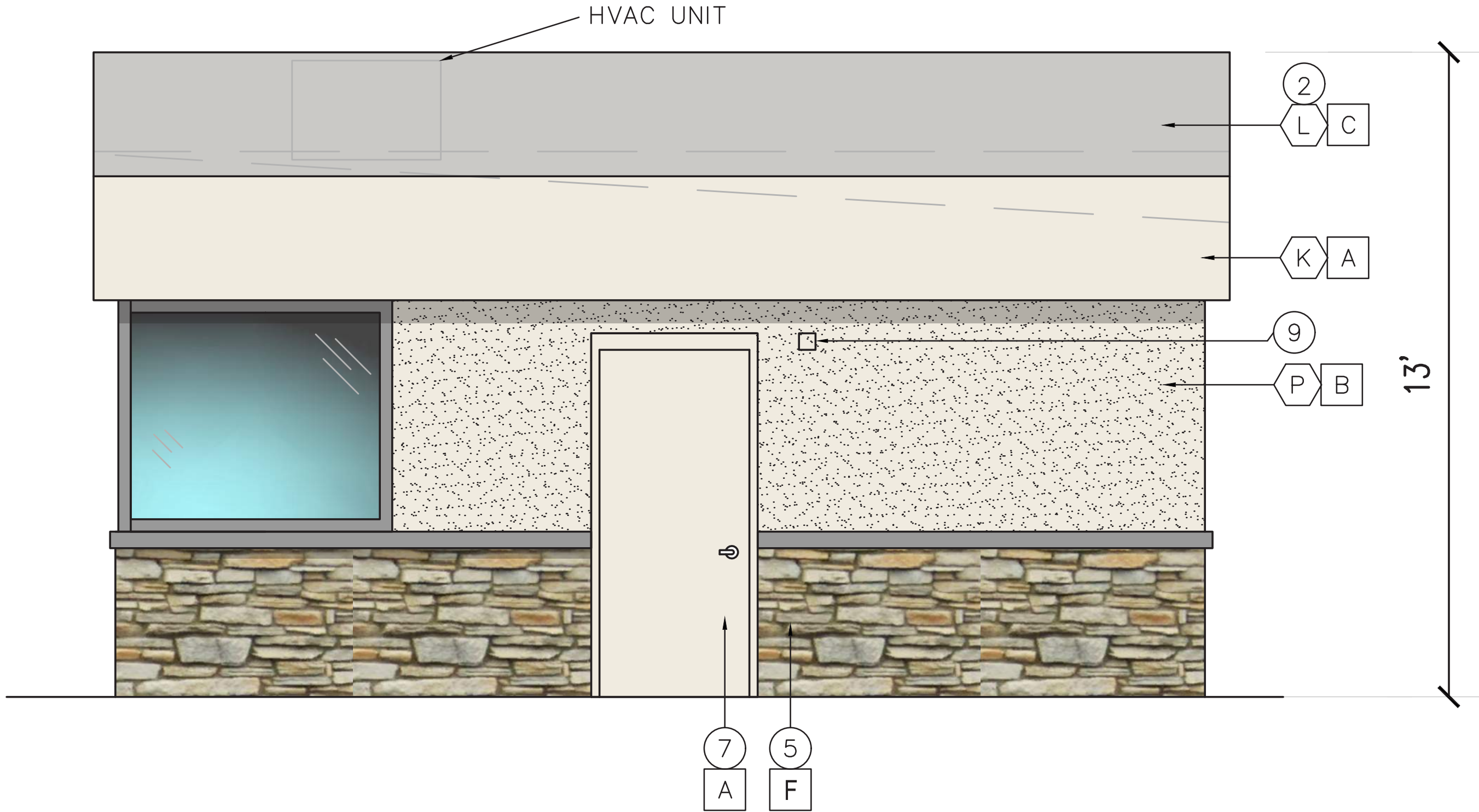
ALISO EQUITIES, LTD

PROPOSED ELEVATIONS
Conditional Use Permit / Site Development Permit #0110-2022(Ralphs)





1 KIOSK POS NORTH ELEVATION
SCALE: 1/2"=1'-0"



2 KIOSK POS WEST ELEVATION
SCALE: 1/2"=1'-0"

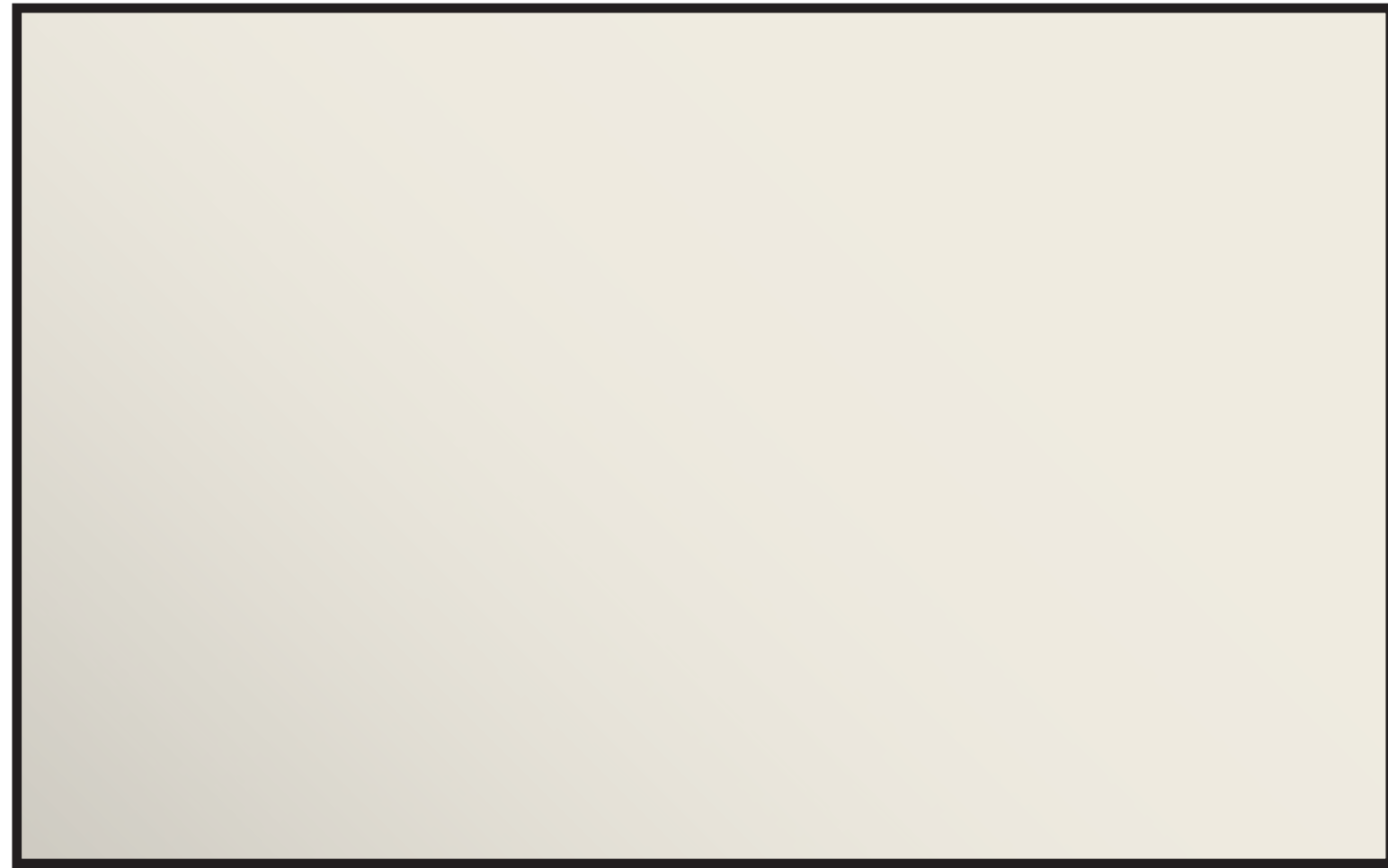
EQUIPMENT SCHEDULE (X)						
ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	4" BLACK VINYL DECAL (DISPENSER NUMBER)				OWNER	GENERAL CONTRACTOR
B	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
C	STATIC WARNING DECAL		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
D	FIRE EXTINGUISHER				OWNER	GENERAL CONTRACTOR
E	NOT USED					
F	CANOPY FASCIA ACM PANEL	SEE LEGEND			CANOPY FABRICATOR	CANOPY FABRICATOR
G	CANOPY FASCIA ACM PANEL	SEE LEGEND			CANOPY FABRICATOR	CANOPY FABRICATOR
H	NOT USED					
I	PRE-CUT BLACK VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
J	NOT USED					
K	KIOSK FASCIA STUCCO FINISH	SEE LEGEND			KIOSK FABRICATOR	KIOSK FABRICATOR
L	KIOSK FASCIA STUCCO FINISH	SEE LEGEND			KIOSK FABRICATOR	KIOSK FABRICATOR
M	CANOPY ACM PANEL				CANOPY FABRICATOR	CANOPY FABRICATOR
N	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
O	NOT USED					
P	KIOSK - PREFABRICATED STUCCO FINISH	SEE LEGEND			KIOSK FABRICATOR	GENERAL CONTRACTOR
Q	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
R	ISLAND FORMS (12ga STAINLESS STEEL)	GRADE 304	RIVERSIDE STEEL		OWNER	GENERAL CONTRACTOR
S	CANOPY COLUMNS - G.C. TO PAINT STEEL COLUMN.	SEE LEGEND			CANOPY FABRICATOR	CANOPY FABRICATOR
T	U-SHAPED BOLLARD - G.C. TO PAINT, 3'-0" IN HEIGHT	SAFETY RED	RIVERSIDE		OWNER	GENERAL CONTRACTOR
U	NON-ILLUMINATED CHANNEL LETTERS		CUMMINGS SIGNS		OWNER	SIGN INSTALLER
V	INTERNALLY ILLUMINATED CHANNEL LETTERS		CUMMINGS SIGNS		OWNER	SIGN INSTALLER
W	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
X	ILLUMINATED LOGO SIGN		CUMMINGS SIGNS		OWNER	SIGN INSTALLER
Y	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR

- GENERAL NOTES:
- A. CONTRACTOR SHALL SUBMIT: MASONRY, MORTAR AND PAINT SAMPLES TO RALPHS CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
 - B. PREMANUFACTURED CANOPY AND KIOSK PROVIDED BY OTHERS.
 - C. ALL ON-SITE SIGNAGE UNDER SEPARATE PERMIT.
 - D. FUEL DISPENSERS SHALL COMPLY WITH ACCESSIBLE GUIDELINES.
 - E. DEFERRED SUBMITTAL FOR FIRE SPRINKLER SYSTEM FOR KIOSK AND CANOPY
- KEYED NOTES: (X)
- 1. EMERGENCY STOP SWITCH: PROVIDE PLAQUE ADJACENT TO THE SWITCH "CALL 911 IN CASE OF AN EMERGENCY". ESD SWITCH TO BE NO CLOSER THAN 20' AND NOT FURTHER THAN 100' FROM ALL DISPENSING DEVICES.
 - 2. PARAPET AT KIOSK TO BE TALL ENOUGH TO COMPLETELY CONCEAL ROOF MOUNTED MECHANICAL EQUIPMENT.
 - 3. CANOPY LIGHTS SHALL BE FLUSH OR RECESSED.
 - 4. ACM PANEL: SEE CANOPY DRAWINGS.
 - 5. STONE TO MATCH EXISTING SHOPPING CENTER.
 - 6. WASTE/WINDSHIELD SERVICE CENTER PROVIDED BY OWNER, INSTALLED BY G.C.
 - 7. H.M. DOOR AND FRAME.
 - 8. PROVIDE MIN.12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL IN ACCORDANCE WITH MUNICIPALITY.
 - 9. PROVIDE 4" MIN. NO SMOKING SIGNAGE IN ACCORDANCE WITH C.O.P. NO SMOKING ORDINANCE AND STATE REQUIREMENTS.
 - 10. SIGNAGE UNDER SEPARATE SUBMITTAL.
 - 10A. HAZARDOUS MATERIAL STORAGE CABINET: PROVIDED BY OWNER, INSTALLED BY G.C.
 - 10B. STORAGE CABINET PAINTED TO MATCH WALL BEHIND, WITH CUSTOM VINYL DECAL TO MATCH STONE.
 - 11. 16" TUBE STEEL CANOPY COLUMN.
 - 12. PROVIDE MIN.12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL IN ACCORDANCE WITH C.O.A.J. ORDINANCE.
 - 13. PLEX FACED CHANNEL LETTERS, RED #2157, 5" DEEP ALUMINUM SIDES AND BACKS PAINTED BLACK, WHITE NEON ILLUMINATION. TRANSFORMERS TO CONFORM WITH U/L 2161 CODE. TYPE: ALLANSON SS935B0
 - 14. STAINLESS STEEL WRITING SHELF RE: KIOSK DRAWINGS
 - 15. STAINLESS STEEL TRANSACTION DRAWER RE: KIOSK DRAWING
 - 16. BULLET-RESISTANT GLASS RE: KIOSK DRAWING

COLOR/FINISH LEGEND: (X)	
(A) [Color Box]	ACM PANEL FASCIA - ALCOA REYNOBOND MATCH COLOR SW 8917 "SHELL WHITE"
(B) [Color Box]	MATCH PAINT COLOR - SHERWIN WILLIAMS SW 8917 "SHELL WHITE"
(C) [Color Box]	VINYL FILM - 3M SERIES 7125 MATCH COLOR SW 7667 "ZIRCON"
(D) [Color Box]	MATCH PAINT COLOR - SHERWIN WILLIAMS SW 4081 "SAFETY RED"
(E) [Color Box]	STAINLESS STEEL METAL FORMS NOT PAINTED
(F) [Color Box]	STONE TO MATCH EXISTING SHOPPING CENTER. FOG SOUTHERN LEDGE STONE #CSV-2028.



A



B



C



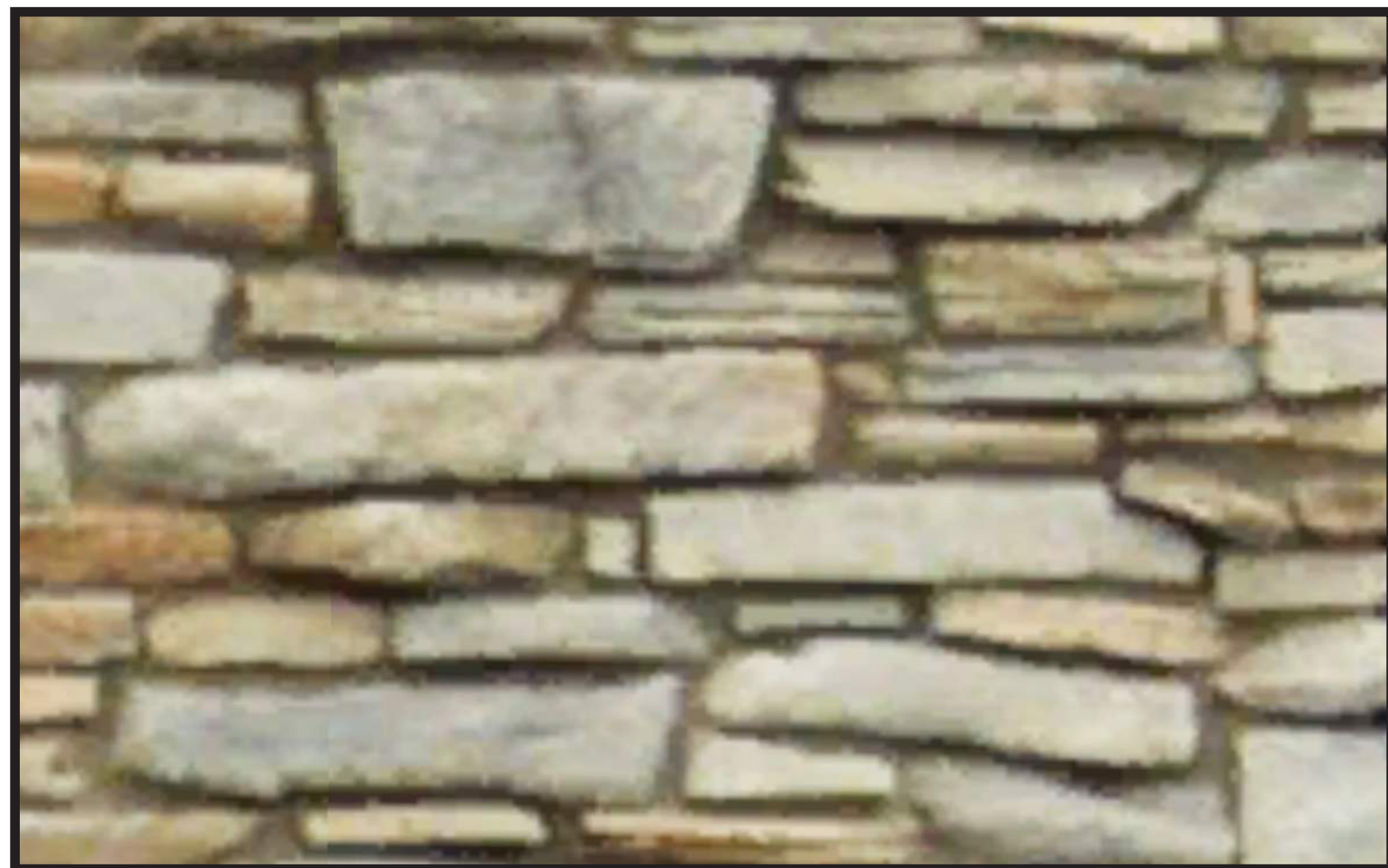
D



E



F

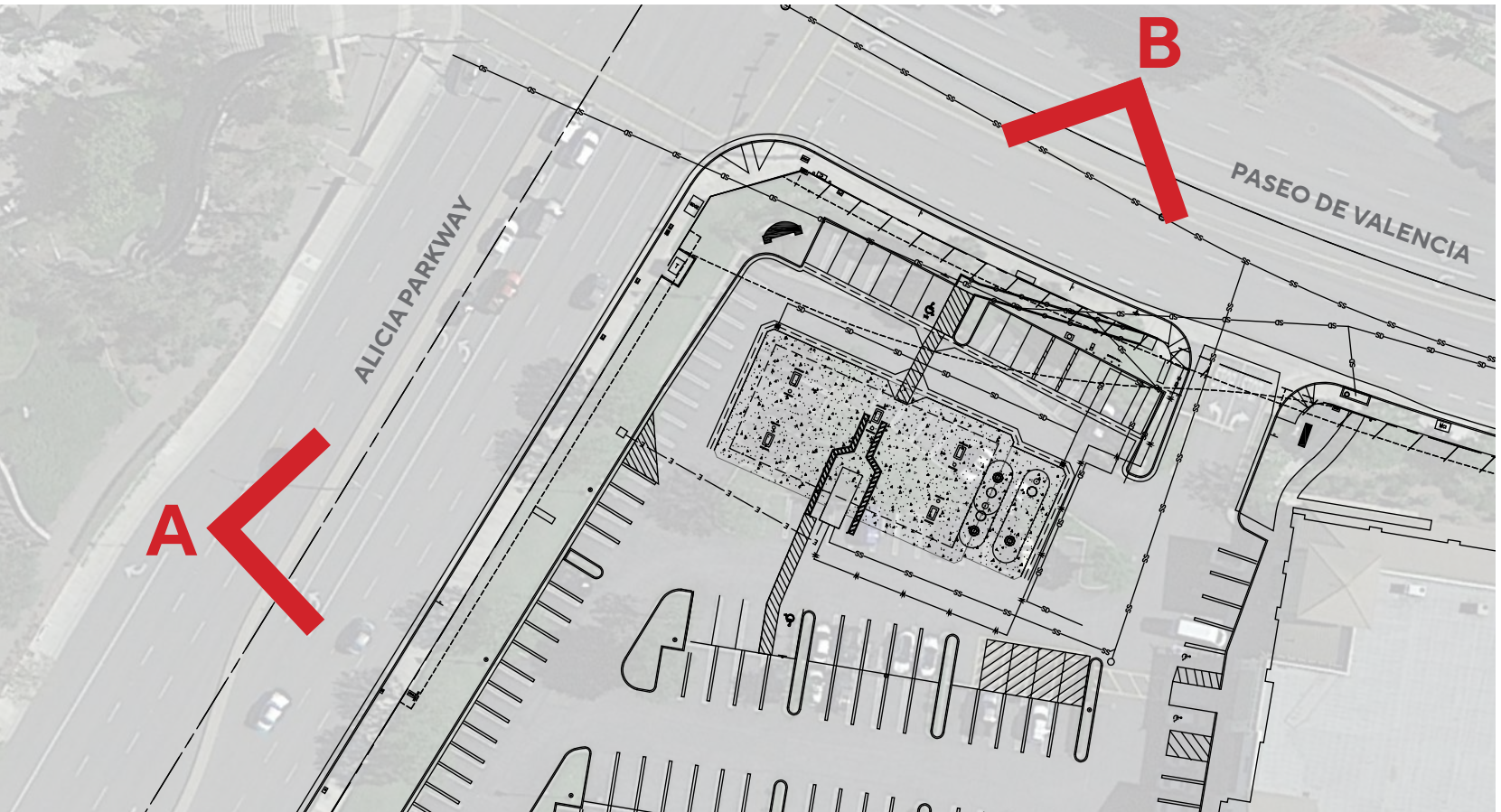


MATERIALS / COLOR LEGEND

- A** ACM PANEL FASCIA - ALCOA REYOBOND
MATCH COLOR SW 8917 "SHELL WHITE"
- B** MATCH PAINT COLOR - SHERWIN WILLIAMS
SW 8917 "SHELL WHITE"
- C** VINYL FILM - 3M SERIES 7125
MATCH COLOR SW 7667 "ZIRCON"
- D** MATCH PAINT COLOR - SHERWIN WILLIAMS
SW 4081 "SAFETY RED"
- E** STAINLESS STEEL METAL FORMS
NOT PAINTED
- F** STONE TO MATCH EXISTING SHOPPING CENTER.
FOG SOUTHERN LEDGE STONE #CSV-2028.



A - EXISTING VIEW



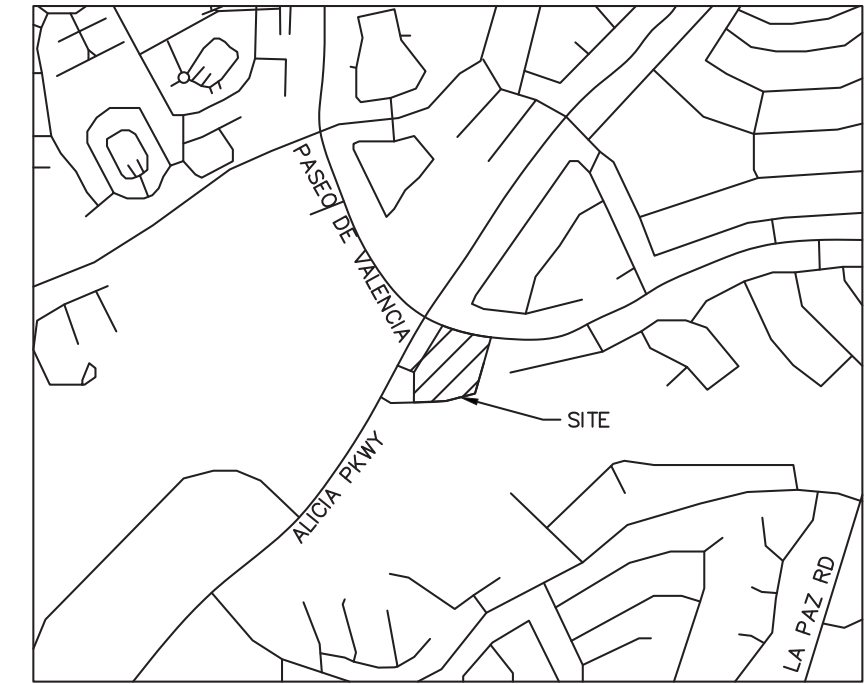
KEY PLAN

A - VIEW FROM ALICIA PARKWAY



B - EXISTING VIEW

B - VIEW FROM PASEO DE VALENCIA



ORANGE COUNTY FIRE AUTHORITY



FIRE MASTER PLAN

VICINITY MAP

OCFA STAMP

PROJECT INFORMATION REQUIREMENTS

PROJECT LOCATION: 25539 PASEO DE VALENCIA, LAGUNA HILLS, CA 92653
PARCEL MAP NUMBER: 625-081-01
TRACT NUMBER:
LOT NUMBER: 157
● EMERGENCY ACCESS EASEMENTS

DETAILED SCOPE OF WORK

NOTE: OCFA WILL ONLY REVIEW WORK OUTLINED IN SCOPE OF WORK
PROPOSED FUEL STATION AND FIRE LANE ACCESS WITH
PARALLEL STALLS.

NUMBER OF UNITS OR HOMES IN DEVELOPMENT

SPECIAL CONDITIONS

- ☐ FIRE HAZARD SEVERITY ZONE ☐ STATE RESPONSE AREA ☐ LOCAL RESPONSE AREA
☐ STATE LICENSED FACILITY
☐ AM&M ☐ PENDING ☐ COMPLETE SR:
☐ METHANE MITIGATION

NUMBER OF STORIES

BUILDING HEIGHT

OCCUPANCY TYPE (CHECK ALL THAT APPLY)

- INDICATES SFM REGULATED OCCUPANCY. OCFA PLAN SUBMITTAL REQUIRED
GROUP S MOTOR VEHICLE REPAIR AND AIRCRAFT REPAIR REQUIRE OCFA PLAN SUBMITTAL
☐ GROUP A1* ☐ GROUP A2* ☐ GROUP A3* ☐ GROUP A4* ☐ GROUP A5*
☐ GROUP B ☐ GROUP E* ☐ GROUP F1 ☐ GROUP F2 ☐ GROUP H1*
☐ GROUP H2* ☐ GROUP H3* ☐ GROUP H4* ☐ GROUP H5* ☐ GROUP I1*
☐ GROUP I2* ☐ GROUP I3* ☐ GROUP I4* ☐ GROUP M ☐ GROUP R1*
☐ GROUP R2* ☐ GROUP R2.1 ☐ GROUP R2.2 ☐ GROUP R3 ☐ GROUP R3.1
☐ GROUP R4* ☐ GROUP S1# ☐ GROUP S2# ☐ GROUP U

TYPE OF CONSTRUCTION

- ☐ TYPE IA ☐ TYPE IB
☐ TYPE IIA ☐ TYPE IIB
☐ TYPE IIIA ☐ TYPE IIIB
☐ TYPE IV
☐ TYPE VA ☐ TYPE VB

MIXED USE AND OCCUPANCY (PER CBC 508 & 509)

- ☐ ACCESSORY OCCUPANCIES (CBC 508.2)
(ACCESSORY OCCUPANCY < 10% OF STORY)
☐ INCIDENTAL USES (CBC 509)
☐ NONSEPARATED OCCUPANCIES (CBC 508.3)
☐ SEPARATED OCCUPANCIES (CBC 508.4)

SPECIAL DETAILED REQUIREMENTS

- ☐ HIGH RISE (CBC 403)
☐ ATRIUM (CBC 404)
☐ OPEN PARKING GARAGE (CBC 406.5)
☐ GROUP I2 (CBC 407) SMOKE COMPARTMENTS REFUGE AREAS
☐ HAZARDOUS MATERIALS (CBC 414, CFC CHAPTER 50)

SPRINKLERS

- ☐ NEW ☐ MANDATORY ☐ VOLUNTARY
☐ TENANT IMPROVEMENT

TYPE

- ☐ NFPA 13
☐ NFPA 13D
☐ NFPA 13R

- ☐ FIRE PUMP
☐ STANDPIPES

FIRE ALARM

- ☐ NEW ☐ MANDATORY ☐ VOLUNTARY
☐ TENANT IMPROVEMENT
☐ VOICE EVACUATION

FIRE FLOW REQUIREMENT PER OCFA GUIDELINE B-09 ATTACHMENT 23

FLOW (IN GPM @ 20 PSI): _____ DURATION: _____

WATER AVAILABILITY

*PROVIDE COPY OF OCFA WATER AVAILABILITY FORM COMPLETED BY WATER DISTRICT ON
FIRE MASTER PLAN*

FLOW:

PRESSURE:

- ☐ ON SITE FIRE HYDRANTS
TOTAL NUMBER: 2

EMERGENCY RESPONDER RADIO COVERAGE (BDA)

- ☐ THIS BUILDING SHALL BE EQUIPPED WITH AN EMERGENCY RESPONDER DIGITAL RADIO SYSTEM PER THE REQUIREMENTS OF THE ORANGE COUNTY SHERIFF'S DEPARTMENT-COMMUNICATIONS & TECHNOLOGY DIVISION. FOR THE INITIAL SUBMITTAL, OCSO/COMM REQUIRES THE ERRCS/BDA/DAS SYSTEM DESIGNER TO PROVIDE THE FOLLOWING FOR PRE-EVALUATION: A. PROJECT NAME, B. SITE ADDRESS, C. PROJECT DESCRIPTION, D. CONTRACTOR CONTACT INFORMATION, E. BDA MODEL (S/N IF AVAILABLE), F. PROPOSED MODE OF OPERATION (CLASS A/B), G. PROPOSED PROJECT TIMELINE. THIS INFORMATION IS TO BE SUBMITTED BY THE DESIGNER VIA EMAIL TO ERRCS@OCSO.ORG AND BDAERT@OCFA.ORG. CFC 510

OCFA STANDARD FIRE MASTER PLAN NOTES

INSPECTION REQUIREMENTS

- OCFA SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 P.M. ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL OCFA INSPECTION SCHEDULING AT (714) 573-6150.
- A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS (OR COMBUSTIBLE FIXTURES AND FINISHES FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION). ALL-WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 94,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
- FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICE REQUEST NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION.
- PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAD AT PLAN SUBMITTAL. CONTACT INSPECTION SCHEDULING TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
- AN ORIGINAL APPROVED, SIGNED, WET-STAMPED OCFA FIRE MASTER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
- ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTION OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
- TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE OCFA PRIOR TO USE.
- THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
- ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
- BUILDINGS OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.

GENERAL REQUIREMENTS

- FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G., ROLLED, RAMPED, ETC.). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED OCFA FIRE MASTER PLAN AND STANDARDS IDENTIFIED IN OCFA GUIDELINE B-09 FOR ALL PORTIONS OF THE FIRE ACCESS ROADS.
- PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 94,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
- FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN IN OCFA GUIDELINE B-09 AND SHALL BE INSTALLED AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
- ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THEIR LOCATION PER THE OCFA STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
- ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH OCFA GUIDELINE B-09. WAYFINDING SIGNS, WHEN REQUIRED BY THE LOCAL AHJ, SHALL COMPLY WITH THE STANDARDS OF THAT AGENCY. WHEN WAYFINDING SIGNS ARE ALSO REQUIRED BY THE OCFA, THEY MAY BE DESIGNED TO LOCAL AHJ REQUIREMENTS PROVIDED THAT SUCH STANDARDS FACILITATE LOCATION OF STRUCTURES, SUITES, AND DWELLING UNITS BY EMERGENCY PERSONNEL.
- ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC AND OCFA GUIDELINES.
- APPROVED ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL, PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.
- DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
- ANY FUTURE MODIFICATION TO THE APPROVED FIRE MASTER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADI, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE OCFA.
- APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN OCFA GUIDELINE B-09 AND RELATED PORTIONS OF THE 2016 CFC AND CBC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.

PROJECT-SPECIFIC REQUIREMENTS

- AN UNDERGROUND PIPING PLAN IS REQUIRED FOR THE INSTALLATION OF AN AUTOMATIC FIRE SPRINKLER SYSTEM OR FOR A PRIVATE FIRE HYDRANT SYSTEM. A SEPARATE PLAN SUBMITTAL IS REQUIRED.
- AN ARCHITECTURAL PLAN IS REQUIRED TO BE SUBMITTED TO THE OCFA FOR REVIEW AND APPROVAL FOR PROJECTS CONTAINING A, C, E, F, H, I, L, AND R-4 OCCUPANCIES. A PLAN MAY ALSO BE REQUIRED FOR R-1 AND R-2 OCCUPANCIES OVER TWO STORIES OR THOSE UTILIZING SPRINKLERS OR FIRE WALLS TO INCREASE THE MAXIMUM BUILDING SIZE ALLOWED--SEE OCFA INFO BULLETIN 02-13.

- A CHEMICAL CLASSIFICATION AND HAZARDOUS MATERIALS COMPLIANCE PLAN SHALL BE APPROVED BY THE OCFA PRIOR TO ANY HAZARDOUS MATERIALS BEING STORED OR USED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED.
- BUILDINGS USED FOR HIGH-PILED STORAGE SHALL COMPLY WITH CFC REQUIREMENTS. A SEPARATE PLAN SUBMITTAL IS REQUIRED IF MATERIALS WILL BE STORED HIGHER THAN 12 FEET FOR LOWER-HAZARD COMMODITIES, OR HIGHER THAN SIX FEET FOR HIGH-HAZARD COMMODITIES SUCH AS PLASTICS, RUBBER, FLAMMABLE/COMBUSTIBLE LIQUIDS, TIRES, CARPET, ETC.
- AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND LOCAL ORDINANCES, AMENDMENTS, AND GUIDELINES. SPRINKLER SYSTEMS, OTHER THAN THOSE LISTED IN CFC 903.4, SHALL BE MONITORED BY AN APPROVED CENTRAL STATION. SEPARATE PLAN SUBMITTALS FOR THE SPRINKLER AND MONITORING SYSTEMS ARE REQUIRED.
- BUILDINGS CONTAINING INDUSTRIAL REFRIGERATION SYSTEMS SHALL COMPLY WITH CFC REQUIREMENTS. A SEPARATE PLAN SUBMITTAL IS REQUIRED IF REFRIGERANT QUANTITIES EXCEED THRESHOLDS.
- A FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND LOCAL ORDINANCES, AMENDMENTS, AND GUIDELINES. A SEPARATE PLAN SUBMITTAL IS REQUIRED.
- STRUCTURES LOCATED IN A FIRE HAZARD SEVERITY ZONE OR WILDLAND-URBAN INTERFACE AREA ARE SUBJECT TO THE CONSTRUCTION REQUIREMENTS PRESCRIBED IN CHAPTER 7A OF THE 2016 CBC AND/OR SECTION 337 OF THE 2016 CFC. CONSTRUCTION MATERIALS/METHODS ARE REVIEWED AND INSPECTED BY THE BUILDING DEPARTMENT.
- ONE OR MORE STRUCTURES SHOWN ON THIS PLAN ARE LOCATED ADJACENT TO A FUEL MODIFICATION AREA. CHANGES TO THE FUEL MODIFICATION ZONE LANDSCAPING, NEW STRUCTURES, OR ADDITION/ALTERATION TO EXISTING STRUCTURES REQUIRES REVIEW AND APPROVAL BY THE OCFA.
- PROJECTS LOCATED IN STATE RESPONSIBILITY AREAS AND IN LOCAL RESPONSIBILITY AREA VAPHSZ SHALL ALSO COMPLY WITH ALL APPLICABLE REQUIREMENTS FROM TITLE 14, DIV. 1.5, CH. 7, SUBCH. 2 "SRA FIRE SAFE REGULATIONS" AND GUIDELINE B-09A.
- STRUCTURES MEETING THE CRITERIA IN CFC 510.1 SHALL BE PROVIDED WITH AN EMERGENCY RESPONDER RADIO SYSTEM. REFER TO CFC 510.2 THROUGH 510.6.3 AND DAS/BDA GUIDELINES PUBLISHED BY OC SHERIFF'S COMMUNICATION AND TECHNOLOGY DIVISION FOR TECHNICAL AND SUBMITTAL INFORMATION.

GATES

- ☐ MANUAL ☐ ELECTRIC

OCFA NOTES FOR ELECTRIC VEHICLE GATES

- A REMOTE OPENING DEVICE IS REQUIRED. THE REMOTE GATE OPENING DEVICE THAT WILL BE INSTALLED IS (CHECK ONE):
 - ☐ 3M OPTICOM
 - ☐ CLICK2ENTER* (SINGLE-PULSE MODE WITH 1.5 SECOND TRANSMISSION WINDOW)
 - ☐ FIRE STROBE ACCESS PRODUCTS, INC.
 - ☐ TOMAR
- IN THE EVENT OF LOSS OF NORMAL POWER TO THE GATE OPERATING MECHANISM, IT SHALL BE AUTOMATICALLY TRANSFERRED TO A FAIL-SAFE MODE ALLOWING THE GATE TO BE PUSHED OPEN BY A SINGLE FIREFIGHTER WITHOUT ANY OTHER ACTIONS, KNOWLEDGE, OR MANIPULATION OF THE OPERATING MECHANISM BEING NECESSARY.
 - A) A BATTERY MAY ONLY BE USED IN PLACE OF FAIL-SAFE MANUAL OPERATION WHEN THE GATE OPERATOR HAS A FAIL-OPEN MODE THAT WILL AUTOMATICALLY, IMMEDIATELY, AND COMPLETELY OPEN THE GATE AND KEEP IT OPEN UPON REACHING A LOW POWER THRESHOLD, REGARDLESS OF THE PRESENCE OF NORMAL POWER.
 - B) SHOULD THE GATE BE TOO LARGE OR HEAVY FOR A SINGLE FIREFIGHTER TO OPEN MANUALLY, A SECONDARY SOURCE OF RELIABLE POWER BY MEANS OF AN EMERGENCY GENERATOR OR A CAPACITOR WITH ENOUGH RESERVE TO AUTOMATICALLY, IMMEDIATELY, AND COMPLETELY OPEN THE GATE UPON LOSS OF PRIMARY POWER SHALL BE PROVIDED FOR FAIL-OPEN OPERATION.
- IN ADDITION TO THE REMOTE OPERATOR, THE GATE CONTROL SHALL BE OPERABLE BY A KNOX EMERGENCY OVERRIDE KEY SWITCH EQUIPPED WITH A DUST COVER. UPON ACTIVATION OF THE KEY SWITCH, THE GATE SHALL OPEN AND REMAIN OPEN UNTIL RETURNED TO NORMAL OPERATION BY MEANS OF THE KEY SWITCH. WHERE A GATE CONSISTS OF TWO LEAVES, THE KEY SWITCH SHALL OPEN BOTH SIMULTANEOUSLY IF OPERATION OF A SINGLE LEAF ON THE INGRESS SIDE DOES NOT PROVIDE FOR THE WIDTH, TURNING RADI, OR SETBACKS NECESSARY FOR FIRE APPARATUS TO NAVIGATE THE VEHICLE ENTRY POINT.
- THE KEY SWITCH SHALL BE PLACED BETWEEN 42" AND 48" ABOVE THE ROADWAY SURFACE AT THE RIGHT SIDE OF THE ACCESS GATE WITHIN TWO FEET OF THE EDGE OF THE ROADWAY. IN IRVINE, THE SWITCH SHALL BE ON THE LEFT SIDE IN ACCORDANCE WITH IRVINE'S UNIFORM SECURITY ORDINANCE.
- THE KEY SWITCH SHALL BE READILY VISIBLE AND UNOBSTRUCTED FROM THE FIRE LANE LEADING TO THE GATE.
- THE KEY SWITCH SHALL BE LABELED WITH A PERMANENT RED SIGN WITH NOT LESS THAN ½" CONTRASTING LETTERS READING "FIRE DEPT" OR WITH A "KNOX" DECAL.

STAKEHOLDERS

LAGUNA HILLS BUILDING AND SAFETY 949-707-2660
BUILDING DEPARTMENT: LAGUNA HILLS PLANNING DEPT. 949-707-2670
PLANNING DEPARTMENT: LAGUNA HILLS PUBLIC WORKS 949-707-2600
PUBLIC WORKS DEPARTMENT: LAGUNA HILLS PUBLIC WORKS 949-707-2600
WATER DISTRICT: MOULTON NIGUEL WATER DISTRICT 949-831-2500

PROJECT DIRECTORY

ARCHITECT/ENGINEER
BUSINESS NAME: KIMLEY-HORN
CONTACT NAME: JACOB GLAZE
ADDRESS: 1100 TOWN AND COUNTRY RD.
CITY: ORANGE STATE: CA ZIP: 92868
PHONE: 714-705-1374
EMAIL: JACOB.GLAZE@KIMLEY-HORN.COM

PROPERTY OWNER/HOA
BUSINESS NAME: _____
CONTACT NAME: _____
ADDRESS: _____
CITY: _____ STATE: _____ ZIP: _____
PHONE: _____
EMAIL: _____

TENANT
BUSINESS NAME: _____
CONTACT NAME: _____
ADDRESS: _____
CITY: _____ STATE: _____ ZIP: _____
PHONE: _____
EMAIL: _____

APPLICABLE CODES

- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
- APPLICABLE NFPA STANDARDS
- LOCALLY ADOPTED ORDINANCES CITY:
- OCFA GUIDELINES
- CONDITIONS OF APPROVAL CITY:

DEFERRED SUBMITTALS (CHECK ALL THAT APPLY)

THIS PROJECT HAS BEEN PERMITTED WITHOUT REVIEW AND/OR APPROVAL OF THE FOLLOWING DEFERRED SUBMITTALS. PLANS APPROVED BY OCFA SHALL BE OBTAINED FOR EACH DEFERRED ITEM LISTED BELOW PRIOR TO COMMENCING ANY WORK WITHIN THE SCOPE OF SUCH DEFERRAL. DEFERRALS MUST BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTING FOR REVIEW WITH OCFA. PORTIONS OF THE PROJECT THAT ARE DEFERRED SHALL BE SUBJECT TO THE CODES, STANDARDS, AND OTHER APPLICABLE REQUIREMENTS IN FORCE ON THE DATE THAT THE DEFERRED PLAN IS SUBMITTED TO OCFA.

- ARCHITECTURAL PLAN

- ☐ HIGH PILED COMBUSTIBLE STORAGE
- ☐ CHEMICAL USE AND/OR STORAGE
- ☐ FUEL TANK (FOR GENERATOR, IF OVER 60 GALLONS)
- ☐ BATTERY/ENERGY STORAGE SYSTEM
- ☐ UNDERGROUND SYSTEM SERVING SPRINKLERS, STANDPIPES, AND/OR PRIVATE HYDRANTS
- ☐ SPRINKLER SYSTEM
- ☐ STANDPIPE SYSTEM
- ☐ FIRE PUMP
- ☐ HOOD AND DUCT EXTINGUISHING SYSTEM
- ☐ ALARM SYSTEM

PREREQUISITE PLANS

- ☐ PLANNING APPLICATION SR:
- ☐ METHANE MITIGATION SR:
- ☐ FUEL MODIFICATION PLAN SR:

REVISION

- ☐ ORIGINAL PLAN SR:
- COPY OF ORIGINAL APPROVED PLAN REQUIRED TO BE SUBMITTED WITH ALL REVISED PLANS.

REVISION SCOPE OF WORK

ALICIA TOWN CENTER

Laguna Hills, CA

ALISO EQUITIES, LTD

FIRE MASTER PLAN COVER SHEET

Conditional Use Permit / Site Development Permit #0110-2022(Ralphs)



© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
1100 W TOWN AND COUNTRY ROAD, SUITE 700, ORANGE CA 92868
PHONE: 714-939-1030
WWW.KIMLEY-HORN.COM

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N.T.S.
2022-877
2024-06-18

Scale
Job No.
Date

LEGEND

- OVERALL PROPERTY LINE
- FIRE LANE

FIRE WATER NOTES

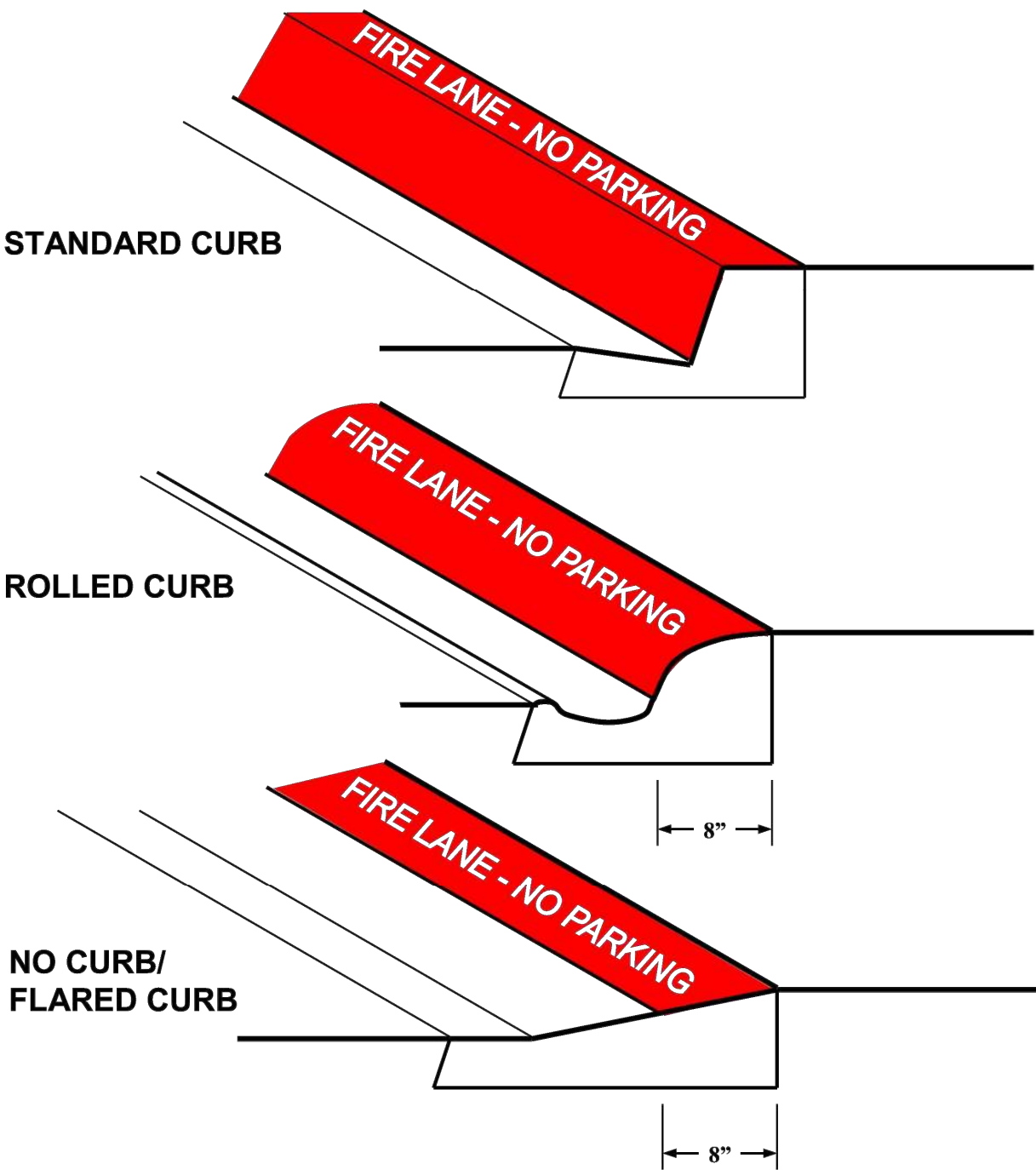
- F1 EXISTING PUBLIC FIRE HYDRANT LOCATION.
- F2 EXISTING FIRE SWING CHECK VALVE.
- F3 PROPOSED NO CURB, FIRE LANE RED STRIPING PER ATTACHMENT 9 HEREON.
- F4 PROPOSED PARALLEL PARKING STALLS.
- F5 CURB TO BE PAINTED FIRE LANE RED PER ATTACHMENT 9 HERON.
- F6 PROPOSED PARALLEL STALLS.

Fire Master Plans for Commercial & Residential Development: 8-09

February 23, 2021

ATTACHMENT 9

Fire Lane Identification – Red Curbs



- 1. Fire lane entrance sign(s) shall also be provided per Attachment 10 or 11.
- 2. Curbs shall be painted OSHA safety red.
- 3. "FIRE LANE – NO PARKING" shall be painted on top of curb in 3" white lettering at a spacing of 30' on center or portion thereof.

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Kimley»Horn

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1100 W TOWN AND COUNTRY ROAD, SUITE 700, ORANGE CA 92868
PHONE: 714-939-1030
WWW.KIMLEY-HORN.COM

AO Architecture.
Design.
Relationships.

12

Scale
Job No.
Date
1" = 40'
2022-877
2024-06-18

ALICIA TOWN CENTER

Laguna Hills, CA

ALISO EQUITIES, LTD

PROPOSED FIRE MASTER PLAN

Conditional Use Permit / Site Development Permit #0110-2022(Ralphs)





EXISTING TREE LEGEND		
SYMBOL	BOTANICAL NAME COMMON NAME	NOTES
T1	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO REMAIN PROTECT IN-PLACE
T2	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO REMAIN PROTECT IN-PLACE
T3	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO BE REMOVED
T4	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO BE REMOVED
T5	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO BE REMOVED
T6	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO BE REMOVED
T7	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO BE REMOVED
T8	MELALEUCA QUINQUENERVIA PAPERBARK TREE	TO REMAIN PROTECT IN-PLACE
T9	MELALEUCA QUINQUENERVIA PAPERBARK TREE	TO REMAIN PROTECT IN-PLACE
T10	MELALEUCA QUINQUENERVIA PAPERBARK TREE	TO REMAIN PROTECT IN-PLACE
T11	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO REMAIN PROTECT IN-PLACE
T12	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO REMAIN PROTECT IN-PLACE
T13	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO BE REMOVED
T14	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO BE REMOVED
T15	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO REMAIN PROTECT IN-PLACE
T16	CUPANIOPSIS ANACARDIODES CARROTWOOD	TO REMAIN PROTECT IN-PLACE
P1	PHOENIX ROEBELENI PYGMY DATE PALM	TO REMAIN PROTECT IN-PLACE
P2	PHOENIX ROEBELENI PYGMY DATE PALM	TO REMAIN PROTECT IN-PLACE

TURF AREA TO BE REMOVED		
PERIMETER TURF AREA		±4,550 SF
INTERNAL TURF AREA		±2,790 SF
TOTAL TURF AREA TO BE REMOVED		±7,340 SF



KEYNOTE LEGEND	
1	PROPERTY LINE
2	EXISTING LANDSCAPING TO REMAIN - TYPICAL
3	EXISTING PUBLIC SIDEWALK TO REMAIN - TYPICAL
4	EXISTING MONUMENT SIGN TO REMAIN - PROTECT IN-PLACE
5	EXISTING RETAINING WALL AT TRANSFORMER TO REMAIN - PROTECT IN-PLACE
6	EXISTING ELECTRICAL TRANSFORMER AND PAD TO REMAIN - PROTECT IN-PLACE
7	EXISTING LIGHT POST TO REMAIN - PROTECT IN-PLACE
8	PROPOSED CAST-IN-PLACE CONCRETE RAMP PER CIVIL
9	PROPOSED PARKING STALLS PER CIVIL - TYPICAL
10	PROPOSED MONUMENT SIGNAGE PER OTHER
11	PROPOSED PLANTING AREA - REFER TO PLANTING PLAN FOR TREE AND SHRUB INFORMATION
12	EXISTING PARKING STALLS TO REMAIN - PROTECT IN-PLACE
13	EXISTING CURB TO REMAIN - PROTECT IN-PLACE
14	EXISTING PUBLIC BENCH AT BUS STOP TO REMAIN - PROTECT IN-PLACE
15	PROPOSED VENT RISER PER CIVIL
16	

PROJECT SUMMARY	
PROJECT SITE AREA	31,065 S.F. (.71 AC)
PROPOSED SOFTSCAPE IMPROVEMENTS	6,278 SF
PROPOSED HARDSCAPE IMPROVEMENTS	40,823.45
LANDSCAPE COVERAGE	20.2%

GENERAL DESIGN NOTES
1. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
2. LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, STORM DRAIN EASEMENT AND PLACE PLANTING LOCATIONS ACCORDINGLY TO MEET CITY OF LAGUNA HILLS REQUIREMENTS.
3. ALL REQUIRED LANDSCAPE AREAS (INCLUDING PUBLIC RIGHT-OF-WAY) SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED PER CITY OF LAGUNA HILLS REQUIREMENTS.
4. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING STREET TREES, SHALL BE INSTALLED PER THE PUBLIC IMPROVEMENT PLANS.

IRRIGATION DESIGN NOTES
THE IRRIGATION SYSTEM WILL BE A FULLY AUTOMATIC UNDERGROUND SYSTEM. BACKFLOW PREVENTION DEVICES WILL BE INSTALLED TO MEET APPLICABLE CODES. THE IRRIGATION SYSTEM WILL BE DESIGNED AND CONSTRUCTED TO BE AS EFFICIENT IN TERMS OF WATER USAGE AS POSSIBLE. WATER CONSERVATION PRODUCTS (HIGH EFFICIENCY / LOW PRECIPITATION) AND AN EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROL SYSTEM WILL BE INCORPORATED INTO THE SYSTEM DESIGN.

PLANTING DESIGN NOTES
THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF LAGUNA HILLS GUIDELINES.

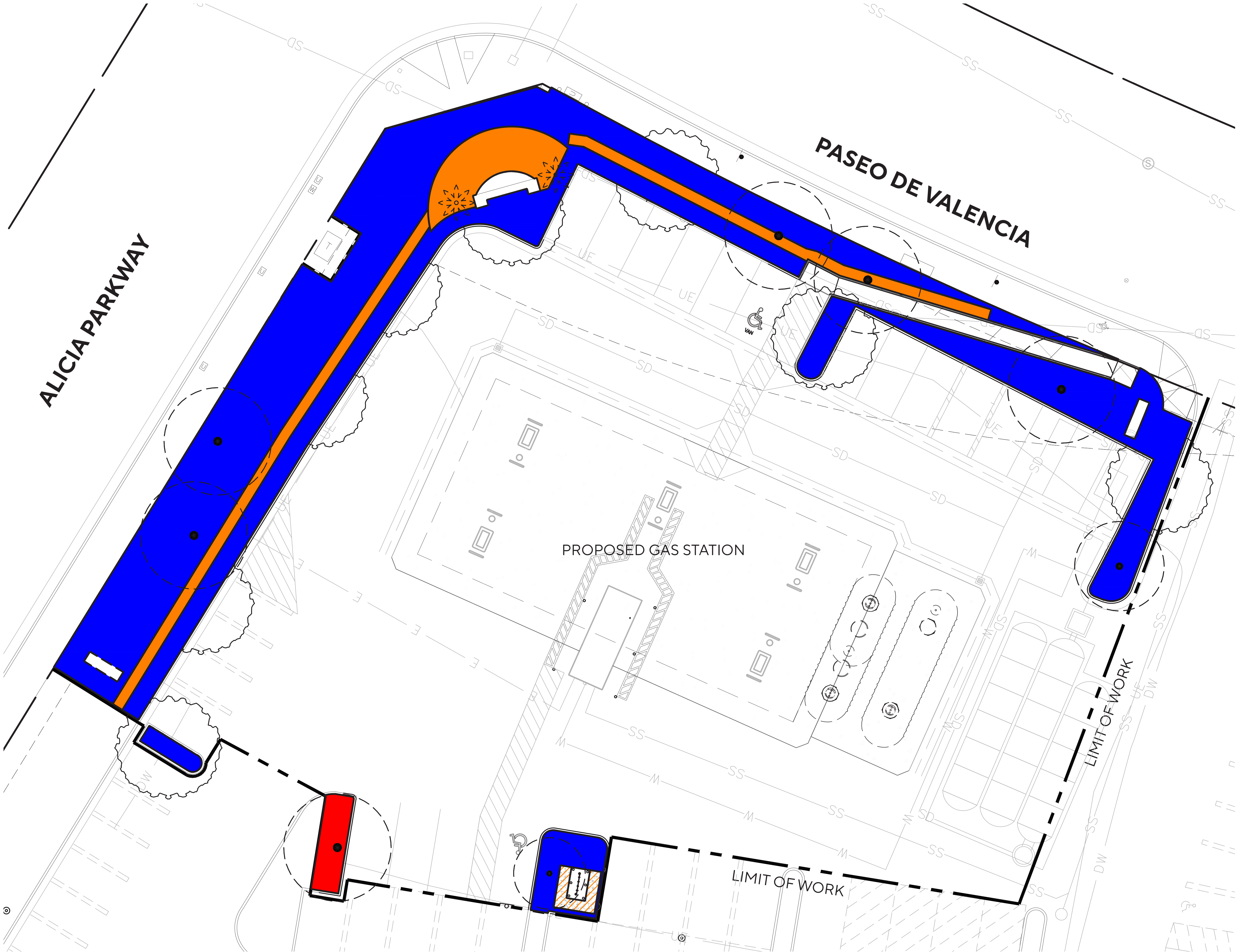


TREE LEGEND					
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.	WUCOLS	NOTES
	CUPANIOPSIS ANACARDIOIDES CARROTWOOD	24" BOX	8	M	STANDARDS
	EXISTING TREES TO REMAIN	-	8	-	PROTECT IN PLACE
	EXISTING PALM TREES TO REMAIN	-	2	-	PROTECT IN PLACE

SHRUB LEGEND					
SYM.	BOTANICAL NAME COMMON NAME	SIZE	QTY.	WUCOLS	NOTES
	CARISA GRANDIFLORA 'GREEN CARPET' NATAL PLUM	1 GAL.	469	L	@ 30" O.C.
	CISTUS 'BENNETT'S WHITE' BENNETT'S WHITE ROCKROSE	5 GAL.	4	L	PER PLAN
	DIETES BICOLOR YELLOW DAYLILY	5 GAL.	300	L	PER PLAN
	LIGUSTRUM JAPONICUM 'TEXANUM' WAXLEAF PRIVET	15 GAL.	101	M	HEDGE @ 30" O.C.
	RHAPHIOLEPIS INDICA 'CLARA' INDIAN HAWTHORN	15 GAL.	87	L	PER PLAN
	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL.	171	L	@ 18" O.C.

PLANTING NOTE
THE TREE AND SHRUB PALETTE ABOVE IS BASED ON PRECEDENCE OF PLANT MATERIAL THAT FLOURISHES IN THIS CLIMATE ZONE, AND REFERENCES THE PALETTE THAT EXISTS ON SITE.





IRRIGATION HYDROZONE LEGEND				
SYMBOL	HYDROZONE	AREA	WATER USAGE	PLANT FACTOR
<div></div>	HYDROZONE 1 DRIP IRRIGATION	5,097 S.F.	L	0.2
<div></div>	HYDROZONE 2 DRIP IRRIGATION	986 S.F.	M	0.5
<div></div>	HYDROZONE 3 SPRAY NOZZLES (EXISTING LAWN)	136 S.F.	H	0.8

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required item of the Landscape Documentation Package.
One worksheet complete for point of connection (water meter)*

Water Efficient Landscape Worksheet

Fill in all colored cells.

Select your city:

Laguna

Woods

48.0

Reference Evapotranspiration (ET₀):

Project name or address:

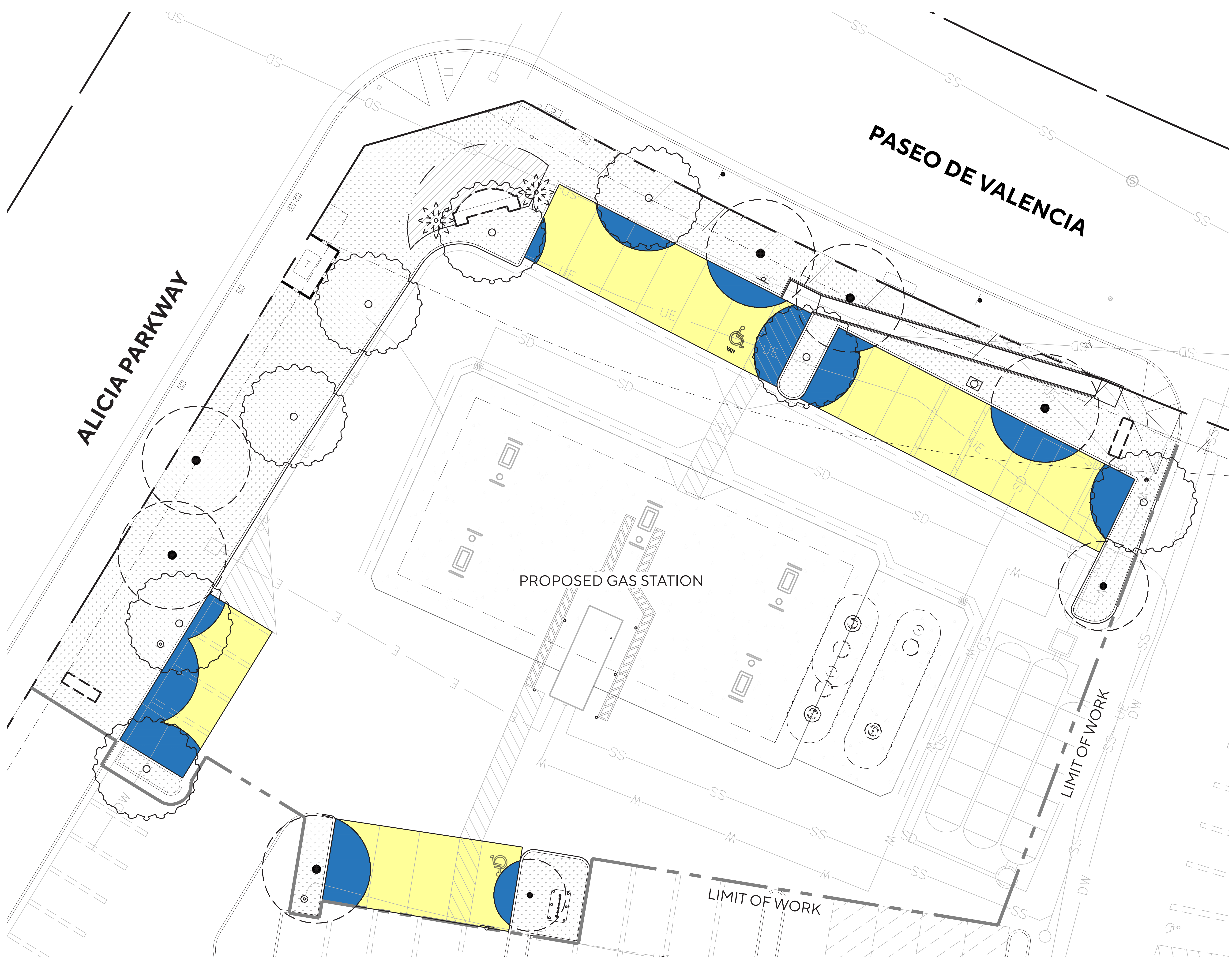
Alicia Town Center

Landscape Area Sector Type:

Non-Residential

	Hydrozone #/Planting Description	Location	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Area									
1	Low water use plant	Front	0.2	Drip emitter	0.8	0.25	5,097	1,275	37,492
2	Medium water use plant	Front	0.5	Drip emitter	0.8	0.62	986	609	18,132
3	Lawn	Other	0.8	Spray nozzles	0.7	1.13	136	153	4,565
add dropdown self description location							Average	Total	Total
							0.32	6,219	2020
Average ETAF for Regular Landscape Areas: In Compliance									
Special Landscape Area									
Totals									
							Total Landscape Area		
							Sitewide ETAF		
							ETWU Total		
							Maximum Allowed Water Allowance (MAWA)		
							6,219		
							0.32		
							60,190		
							83,372		

* If multiple points of connection worksheets are submitted either 1) each must be in compliance or 2) a worksheet for the total project area must be in compliance.



TREE SHADING LEGEND	
<div></div>	TOTAL PARKING AREA AREA (3,769 S.F.)
<div></div>	TOTAL SHADE PROVIDED (1,147 S.F.)

PERCENTAGE OF COVERAGE	
NUMBER OF PARKING STALLS	22
PERCENTAGE OF SHADE REQUIRED	20%
PERCENTAGE OF SHADE PROVIDED	37%
* TREES SHOWN AT 15 YEAR GROWTH	

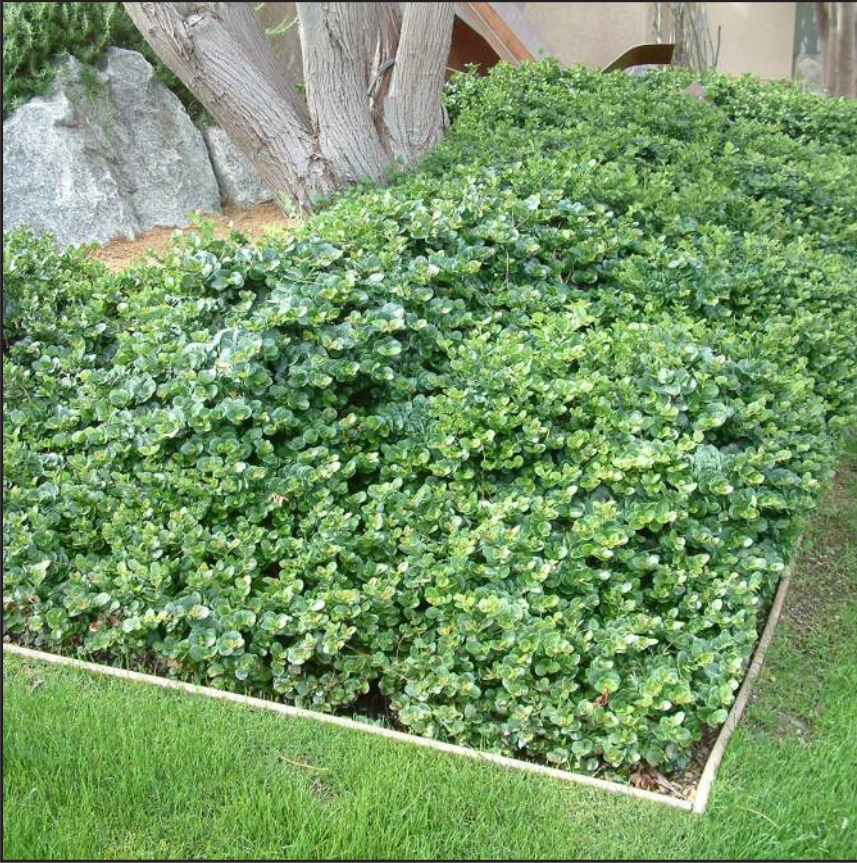


TREE IMAGES



CUPANIOPSIS ANACARDIOIDES
(CARROTWOOD TREE)
HEIGHT: 40'
SPREAD: 30'
WUCOLS: M
FULL SUN TO PART SHADE

SHRUB IMAGES



CARISSA MACROCARPA 'GREEN CARPET'
(GREEN CARPET NATAL PLUM)
HEIGHT: 12" - 15"
SPREAD: 4' - 5'
WUCOLS: L



CISTUS 'BENNETT'S WHITE'
(BENNETT'S WHITE ROCK ROSE)
HEIGHT: 6'
SPREAD: 6'
WUCOLS: L



DIETES BICOLOR
(YELLOW FORTNIGHT LILY)
HEIGHT: 2'
SPREAD: 1'
WUCOLS: M



LIGUSTRUM JAPONICUM 'TEXANUM'
(WAXLEAF PRIVET)
HEIGHT: 4' - 5'
SPREAD: 4' - 5'
WUCOLS: M



RHAPHIOLEPIS INDICA 'CLARA'
(INDIAN HAWTHORN CLARA)
HEIGHT: 4' - 5'
SPREAD: 4' - 5'
WUCOLS: M



SENECIO SERPENS
(BLUE CHALKSTICKS)
HEIGHT: 1'
SPREAD: 3'
WUCOLS: L

APPENDIX B

Appendix B: Certification of Landscape Design

CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

- (1) I am a professional appropriately licensed in the State of California to provide professional landscape design services.
- (2) The landscape design and water use calculations for the property located at 25539 PASEO DE VALENCIA, LAGUNA HILLS, CA 92653 (provide street address or parcel number(s)) were prepared by me or under my supervision.
- (3) The landscape design and water use calculations for the identified property comply with the requirements of the City of Anaheim Landscape Water Efficiency Ordinance (Chapter 10.19 of Title 10 of Anaheim Municipal Code) and the Guidelines for Implementation of the City of Anaheim Landscape Water Efficiency Ordinance.
- (4) The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the Guidelines for Implementation of the City of Anaheim Landscape Water Efficiency Ordinance.

DIEGO F. ALESSI
Print Name

5/9/24
Date

Signature

4201
License Number

144 N. ORANGE ST., ORANGE, CA 92866
Address

714-869-9860
Telephone

DIEGOA@AOARCHITECTS.COM
E-mail Address

Landscape Design Professional's Stamp
(If applicable)



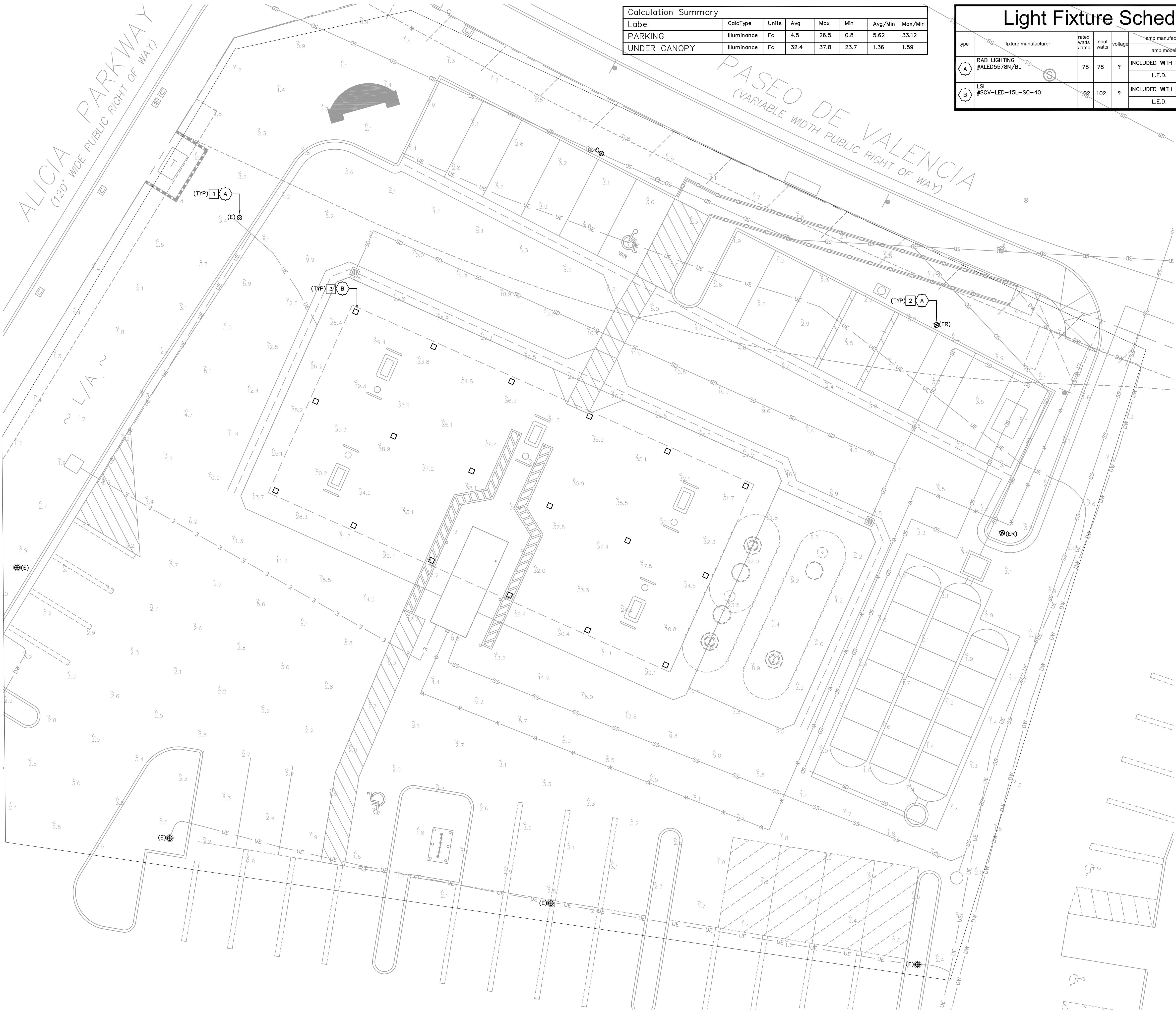


Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PARKING	Illuminance	Fc	4.5	26.5	0.8	5.62
UNDER CANOPY	Illuminance	Fc	32.4	37.8	23.7	1.36

Light Fixture Schedule						
type	fixture manufacturer	rated watts / lamp	input watts	voltage	lamp manufacturer	lighting fixture description
					lamp model #	
A	RAB LIGHTING #ALE5578N/BL	78	78	?	INCLUDED WITH UNIT	SINGLE HEAD AREA LED LUMINAIRE WITH TYPE V OPTICS MOUNTED ON 20' POLE AND 24" HIGH CONCRETE BASE.
					L.E.D.	
B	LSI #SCV-LED-15L-SC-40	102	102	?	INCLUDED WITH UNIT	SURFACE MOUNTED LED UNDER CANOPY AT 15'-6"
					L.E.D.	

Keyed Notes

- 1 EXISTING LIGHT POLE FIXTURE TO REMAIN.
- 2 EXISTING LIGHT POLE FIXTURE TO BE RELOCATED.
- 3 NEW SURFACE MOUNTED LED CANOPY DOWNLIGHT.



ALICIA TOWN CENTER

Laguna Hills, CA

ALISO EQUITIES, LTD

SITE PHOTOMETRIC PLAN

Conditional Use Permit / Site Development Permit #0110-2022(Ralphs)





GRADING LEGEND

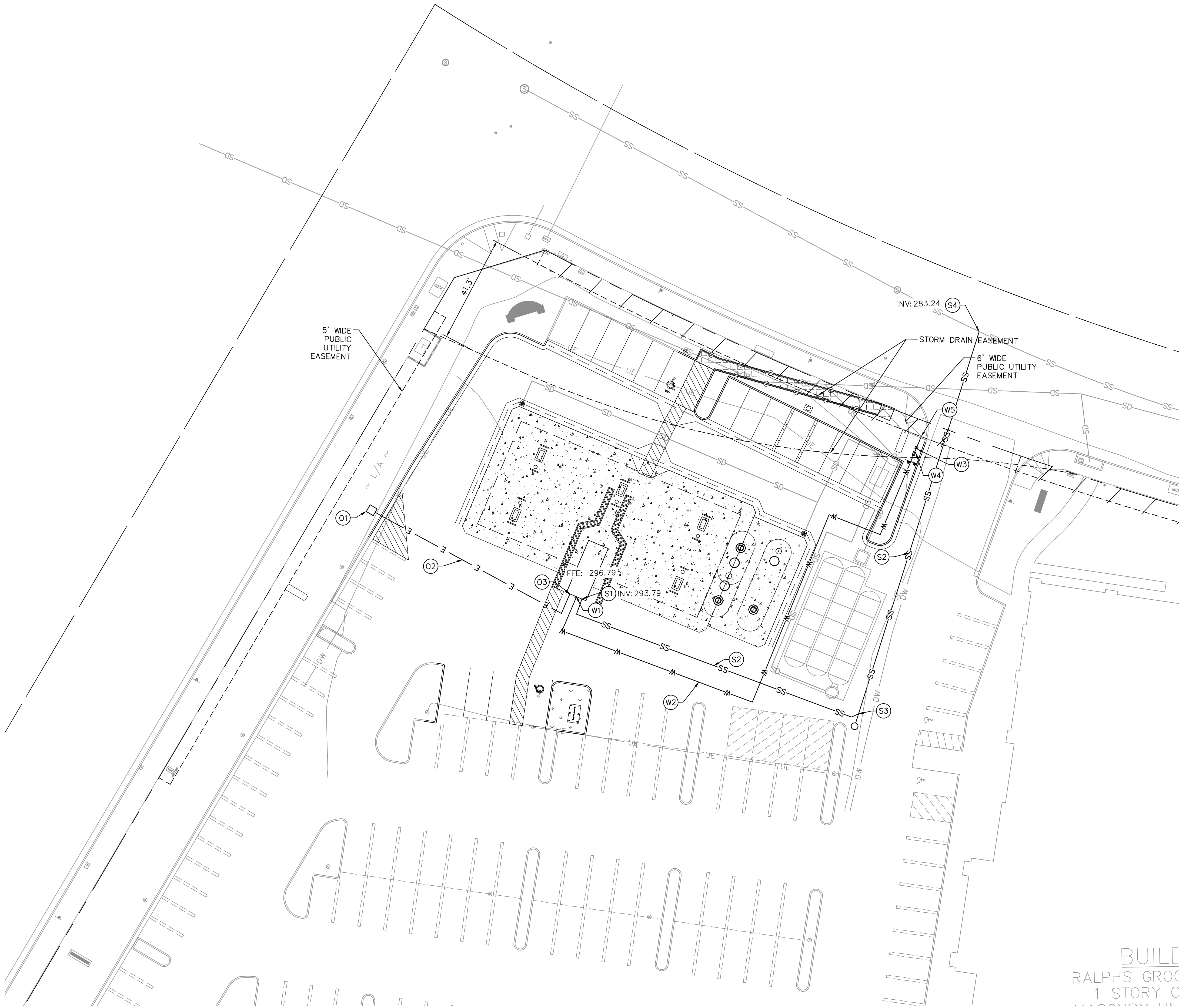
	PROPERTY LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	GRADE BREAK LINE
	FINISH FLOOR ELEVATION
	FLOWLINE
	LIP OF GUTTER
	TOP OF CURB
	FINISH SURFACE
	EXISTING GRADE
	PROPOSED GRADE
	HEAVY DUTY ASPHALT PAVING
	PROPOSED LANDSCAPING
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED SLOPE

GRADING AND DRAINAGE NOTES

- 1 PROPOSED STORM DRAIN GRATE INLET.
- 2 PROPOSED STORM DRAIN LINE.
- 3 PROPOSED OIL AND WATER SEPARATOR.
- 4 PROPOSED DETENTION SYSTEM 30'X51'X5' (5,180 CF)
- 5 PROPOSED SADDLE TAP INTO EXISTING STORM DRAIN LINE.
- 6 PROPOSED MANHOLE.

NOTE:
PROPOSED UTILITY CONNECTIONS TO BE POTHOLED AND UTILITY INVERTS
CONFIRMED PRIOR TO THE FINAL DESIGN AND CONNECTION.





LEGEND

- PROPERTY LINE
- SS EXISTING SEWER LINE
- W EXISTING WATER LINE
- SS PROPOSED SANITARY SEWER LINE
- W PROPOSED WATER LINE
- E PROPOSED ELECTRIC CONDUIT

SEWER

- S1 BUILDING POINT OF CONNECTION.
- S2 PROPOSED SANITARY SEWER LINE.
- S3 PROPOSED SANITARY SEWER 45° BEND AND CLEANOUT.
- S4 PROPOSED TIE IN TO EXISTING SEWER MAIN.

DOMESTIC WATER

- W1 BUILDING POINT OF CONNECTION.
- W2 PROPOSED WATER LINE.
- W3 PROPOSED WATER METER.
- W4 PROPOSED WATER BACKFLOW DEVICE.
- W5 PROPOSED TIE IN TO EXISTING WATER SERVICE.

OTHER UTILITY NOTES

- O1 PROPOSED TRANSFORMER.
- O2 PROPOSED ELECTRIC CONDUIT.
- O3 PROPOSED ELECTRIC BUILDING POINT OF CONNECTION.

NOTE:
PROPOSED UTILITY CONNECTIONS TO BE POTHOLED AND UTILITY INVERTS
CONFIRMED PRIOR TO THE FINAL DESIGN AND CONNECTION.

BUILD
RALPHS GROC
1 STORY C
LACORDA LINE

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
1100 W TOWN AND COUNTRY ROAD, SUITE 700, ORANGE CA 92868
PHONE: 714-939-1030
WWW.KIMLEY-HORN.COM

ALICIA TOWN CENTER

Laguna Hills, CA

ALISO EQUITIES, LTD

Conditional Use Permit / Site Development Permit #0110-2022(Ralphs)

UTILITY PLAN



AO
Architecture.
Design.
Relationships.

Scale
Job No.
Date

22

1" = 20'-0"
2022-877
2024-06-18