

LAND USE SUMMARY

DESCRIPTION	TOTAL
CONDOMINIUM DEVELOPMENT LOT (INCLUSIVE OF THE FOLLOWING)	2.43 AC
PRIVATE WAY	0.69 AC
LANDSCAPE (NON-DEVELOPED SLOPE AREA)	1.00 AC

ZONING

EXISTING: MIXED USE, MXU

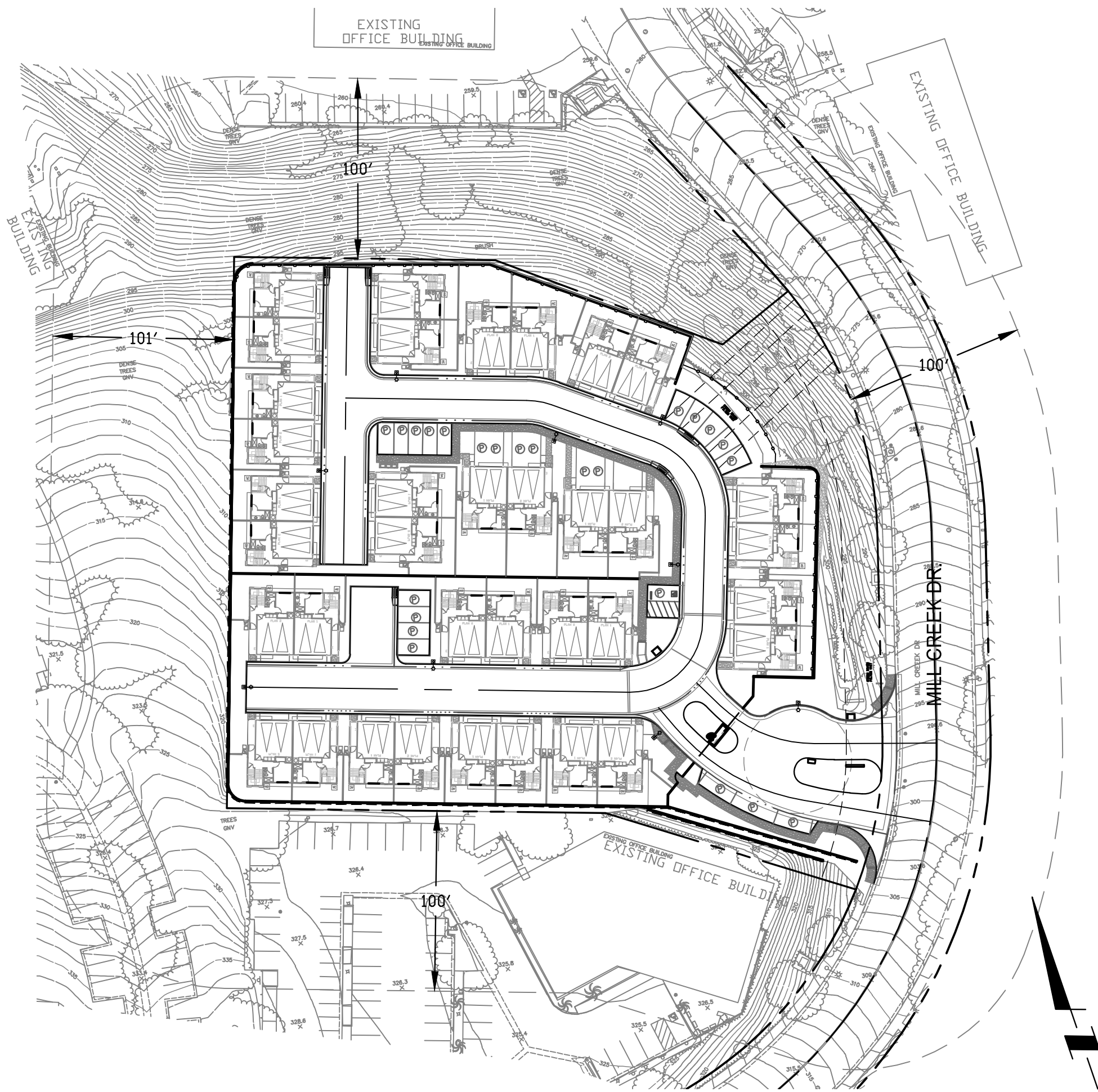
SITE SUMMARY

DESCRIPTION	PROPOSED
TOTAL NUMBER OF UNITS	36
PROJECT ACREAGE	2.43 ACRES
PROJECT DENSITY	14.8 UNITS PER ACRE

DEVELOPMENT STANDARDS TABLE

DEVELOPMENT STANDARDS PER MUNICIPAL CODE MXU ZONING		
ITEMS	RESIDENTIAL (HDR)	PROPOSED DEVELOPMENT
MINIMUM LOT SIZE	7,200 sq. ft.	105,916SF/2.43 AC
MINIMUM LOT WIDTH	60 ft.	±300 ft.
MINIMUM LOT DEPTH	100 ft.	±360 ft.
MAXIMUM LOT COVERAGE	70%	1.04AC/2.43AC= 43%
MAXIMUM DENSITY	20 DUs/acre	14.8 DUs/acre
MAXIMUM BUILDING HEIGHT	35 ft.	36 ft. 9-1/2 inch.
FLOOR AREA RATIO	0.38%	0.30%
(TOTAL PROJECT BUILDING FOOTPRINT)		32,004sf.
DRIVE AISLE WIDTHS	24 ft. MIN	26 ft. MIN
MINIMUM SETBACK—FRONT		
PARKING LOT	20 ft.	N/A
PARKING STRUCTURE	20 ft.	N/A
BUILDING	20 ft.	20 ft.
MINIMUM SETBACK—SIDE (INTERIOR)	5 ft.	5 ft.
MINIMUM SETBACK—STREET SIDE	15 ft.	20 ft.
MINIMUM SETBACK—REAR	20 ft.	7.5 ft.
MINIMUM OPEN SPACE		
PUBLIC	N/A	N/A
PRIVATE	10%	14,500sf= 14%
(BALCONIES & PRIVATE YARDS)		
MINIMUM LANDSCAPE COVERAGE	20%	36%
MINIMUM BUILDING SEPARATION		
MAIN—MAIN	10 ft.	6.5 ft.
MAIN—ACCESSORY	2.5 ft.	N/A
ACCESSORY—ACCESSORY	2.5 ft.	N/A
PARKING		
2 ASSIGNED AND COVERED PARKING STALL WITH A GARAGE OR PARKING STRUCTURE, PLUS 0.3 STALLS UNASSIGNED PER DWELLING UNIT		2 ASSIGNED AND COVERED PARKING STALL WITH A GARAGE OR PARKING STRUCTURE, PLUS 0.3 STALLS UNASSIGNED PER DWELLING UNIT
PARKING STALL SIZE—STANDARD STALLS	9'X18'	9'X18'
ACCESSIBLE STALLS	14'X18'	14'X18'
REQUIRED PARKING: 43 DU X 0.3= 12.9 SPACES 13 SPACES PROVIDED		

LAGUNA HILLS - 23161 MILL CREEK
VESTING TENTATIVE TRACT MAP NO. 19346



PARKING SUMMARY

UNIT TYPE	NUMBER OF BEDROOMS	NUMBER OF UNITS	PARKING REQUIRED	PARKING PROVIDED
PLAN 1	4	18	SEE NOTE 1	90
PLAN 2	4	18		
TOTALS		36		

NOTE 1: PER DENSITY BONUS LAW THE MAXIMUM PARKING RATIO FOR 4 BEDROOM HOMES IS 2.5.

ADDITIONAL STANDARDS	REQUIRED	PROVIDED
MINIMUM WIDTH OF PRIVATE WAY (FLOWLINE TO FLOWLINE)		28' (TYP.)
MINIMUM P.F.L.S. FIRE ROAD WIDTH AT GATED ENTRY	13'	15'

BUILDING SUMMARY (AREA)

UNIT TYPE	BEDROOM	BATHROOMS	LIVABLE AREA (SF)	GARAGE AREA (SF)	TOTAL (SF)	FIRST FLOOR TOTAL(SF)	UNITS NUMBER OF
PLAN 1	4	4	1,991	446	2,437	881	18
PLAN 2	4	4	2,033	450	2,483	897	18
TOTAL							36

AFFORDABLE UNITS (5% OF TOTAL) = 2 UNITS
FIRST FLOOR SQUEARE FOOTAGE IS (GARAGE, LIVABLE AND PORCHES)

SHEET LEGEND

- C1 – SITE PLAN COVER SHEET
C2 – SITE PLAN
C3 – SECTIONS
C4 – CONCEPTUAL GRADING AND DRAINAGE
C5 – EXISTING SITE PLAN
C6 – PARKING AND ACCESS
C7 – TRASH PICK-UP
F1 – FIRE ACCESS PLAN
L1 – ILLUSTRATIVE SITE PLAN
L2 – CONCEPTUAL WALL AND FENCE PLAN
L3 – LANDSCAPE ELEVATIONS
L4 – CONCEPTUAL PLANTING PLAN
L5 – SHADE STUDY
L6 – TREE CANOPY/SHADE PLAN
EP1 – PHOTOMETRIC SITE PLAN
EP2 – PHOTOMETRIC FIXTURE TYPES
R1 – RENDERINGS
R2 – RENDERINGS
R3 – RENDERINGS
A1 – FLOOR PLANS
A2 – FLOOR PLANS
A3 – ELEVATIONS
A4 – ELEVATIONS WITH ROOF PLAN
A5 – SOLAR PANEL ASSESSMENT
A6 – COLOR AND MATERIALS BOARD

DEVELOPMENT STANDARDS TABLE LIST OF EXCEPTIONS

City Objective Design Standards	City Code	Description	Waiver Request
	"MXU Zoning 9–30.040 Development Standards"	15' minimum building rear setback	Reduce setback to 7.5'
	"MXU Zoning 9–30.040 Development Standards"	5' minimum building interior side setback	Reduce setback to 5'
	"MXU Zoning 9–30.040 Development Standards"	20' minimum parking lot front setback	Reduce setback to 3.5'
	"MXU Zoning 9–30.040 Development Standards"	10' minimum building separation	Reduce to 6'
	"MXU Zoning 9–30.040 Development Standards"	10% minimum private open space	Remove requirement
	"MXU Zoning 9–30.040 Development Standards"	10% minimum landscape coverage	Remove requirement
"2.1.1 Maximum Block Size"		Maximum allowed block length of 800' or perimeter length of 2,800'	Remove requirement
"2.1.2 Mid–Block Connection"		"Required if block lengths exceeds maximum Block Length or Perimeter Length per 2.1.1 Minimum building width must be 20' and a pedestrian path of 8' must be provided"	Remove requirement
"2.2.2 Pedestrian Connections"		"Primary entries to buildings or units shall be connected to a public sidewalk or publicly accessible pathway with a pedestrian pathway Entrances serving 1–2 units must have a minimum width of 4"	Remove requirement
"2.5.1 Public Open Space"	"MXU Zoning 9–30.040 Development Standards"	"Required for projects greater than 2ac Minimum public open space shall be 1/4 of the minimum open space required. 10% of site area required as private open space per city code"	Remove requirement
"2.5.2 Common Open Space"	"MXU Zoning 9–30.040 Development Standards"	50% of required open space is required as common open space. 10% of site area required as private open space per city code	Remove requirement
"2.8.1 Pedestrian Pathways"		"All on–site buildings, entries, facilities, amenities, and vehicular and bicycle parking areas shall be internally connected with a minimum 4' wide pedestrian pathway or pathway network. At least two amenities that include trellises and/or benches shall be provided on any pedestrian path longer than 200"	Remove requirement
	"9–44.060 Design standards for parking facilities"	"A(4) Direct access to a parking lot or parking stall from a public roadway shall be prohibited, except for low–density residential uses	Remove requirement
	"9–44.060 Table 9–44.A Number of parking stalls required"	0.3 unassigned stalls required per dwelling unit	Meet State Density Bonus parking ratio, remove unassigned parking requirement
	"9–44.060 Table 9–44.D Number of parking stalls required"	10' x 20' minimum garage dimension	Modify to allow encroachment for trash and water heaters
	OCPW Std 1107	Local street: 40' minimum curb to curb with 8' sidewalk+parkway both sides	Modify to match City of Irvine Private Way
	OCPW Std 1107	Guard gate: 40' curb to curb with 8' sidewalk+parkway both sides; 100' minimum stacking distance	Modify to match City of Irvine Private Way, reduce stacking distance to 95'
"2.7.1.1 Short–Term Bicycle Parking"		Short–term bicycle parking shall be provided at a rate of one space per 10 dwelling units	Remove requirement
	"9–40.100 Fences, walls, and hedges"	"Perimeter tract walls which are adjacent to a public street shall have articulated planes by providing, at a minimum for every one hundred (100) feet of continuous wall, an eighteen (18) inch deep by eight foot long landscaped recession. Walls should be constructed with pilasters provided at every change in direction, every five feet difference in elevation and at a minimum of every twenty–five (25) feet of continuous wall. Fences, walls, and hedges within the front yard setback shall not exceed 42"" in height. The height of retaining walls in the front yard shall be less than 30"" in height. The total wall height, including the retaining wall, shall not be greater than 42"""	Remove requirement
	"9–44.060 Design standards for parking facilities"	"G(11) Where a parking lot abuts a residential use it shall be provided with an extensive buffer consisting of a minimum five foot wide planter and six foot high solid masonry wall/fence with screening vegetation planted in conjunction with the wall. Where the parking lot is across from a residential area, it shall be provided a landscaped berm and wall combination to screen the lot. H. Paving shall be required for all permanent parking, access, and loading facilities. Decorative paving, colored concrete, and asphalt surfacing materials shall be used and shall conform to the city's adopted standards and requirements."	Remove requirement
"2.3.1.2 Floor to Floor Height of Active Uses"		Ground floor shall have a minimum floor–to floor height of 12'	Reduce to 9'
"2.7.1.2 Long–Term Bicycle Parking"		At least one long–term bicycle storage space is required for each unit. 36 required	Reduce to 0/unit required
"3.1 Massing"		Buildings shall employ the specified massing strategies of modulation, roof form, or projections	Remove requirement
"3.2.1 Step backs"		Buildings above 2 stories or 35' are required to have a minimum of 30% of the frontage stepped back a minimum of 10'.	Remove requirement
"3.5.1 Window Alignment"		Windows in opposing units, facing each other and located within 40 feet of each other, shall be offset by a minimum 20 feet.	Remove requirement
"3.8.1 Façade Composition"		Each building façade greater than 100' in length shall include a minimum of two (2) distinct façade compositions. For every additional 100' of building façade, an additional 1 distinct façade composition is required	
"3.9.1 Entrance Types"		"Primary building entrances for all residential buildings shall face a public sidewalk or publicly accessible pathway. Types of pedestrian entrance frontages specified shall be applied to buildings"	Remove requirement
"3.9.3 Parking & Access"		The garage door is required to be located a minimum of 1' behind the primary façade.	Remove requirement
	"MXU Zoning 9–30.040 Development Standards"	35' maximum building height	Increase to 37'

5.9.2025

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SITE PLAN COVER SHEET

23161 MILL CREEK | TOLL BROTHERS
LAGUNA HILLS, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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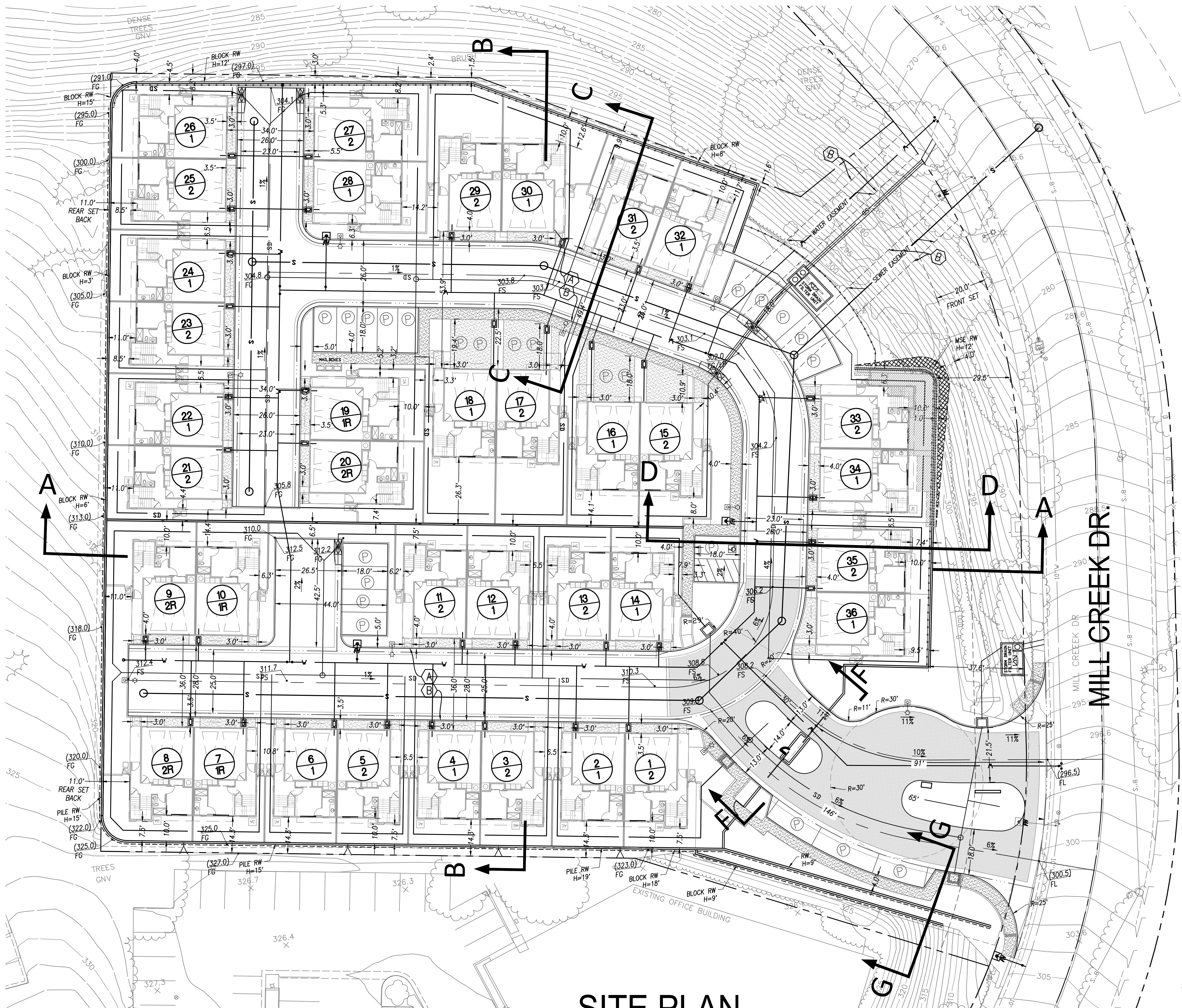
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C1

LAGUNA HILLS - 23161 MILL CREEK

VESTING TENTATIVE TRACT MAP NO. 19346



LEGEND

DOMESTIC WATER LINE (PROP)	— W —
SANITARY SEWER LINE (PROP)	— S —
STORM DRAIN LINE (PROP-PRIVATE)	— SD —
DOMESTIC WATER LINE (EXIST)	— W —
SANITARY SEWER LINE (EXIST)	— S —
STORM DRAIN LINE (EXIST)	— SD —
STREET CENTER LINE	— — — —
RIGHT OF WAY	— — — —
PROPOSED LOT LINE	— — — —
RECORDED LOT LINE	— — — —
RECORDED TRACT (N.A.P.)	18176
CURB & GUTTER	— — — —
ROLLED CURB & GUTTER	— — — —
CURB FLOW LINE	— — — —
TRACT BOUNDARY	— — — —
EASEMENT	— — — —
EXISTING CONTOUR	205
PROPOSED CONTOUR	205
FIRE HYDRANT	— — — —
CATCH BASIN (PROP)	— — — —
STREET LIGHT	— — — —
VERDURA 4:1 BLOCK WALL	— — — —
VERDURA BLOCK WALL GEOGRID LIMITS	— — — —
PROPOSED STREET OR WALK GRADE	5.0%
PROPOSED UNIT NUMBERS	1
TRASH CAN LOCATIONS	— — — —
YARD GATE AND STEPPING STONES	— — — —
AIR CONDITIONING UNIT	— — — —
UNIT ENTRANCE	— — — —
UNIT NUMBER	10
UNIT TYPE	1R
ELECTRIC METER LOCATION	E

EASEMENT NOTES

- EASEMENT FOR EMERGENCY ACCESS PURPOSES TO THE CITY OF LAGUNA HILLS
- EASEMENT TO EL TORO WATER DISTRICT FOR SEWER AND WATER PURPOSES

SITE PLAN

23161 MILL CREEK | TOLL BROTHERS
LAGUNA HILLS, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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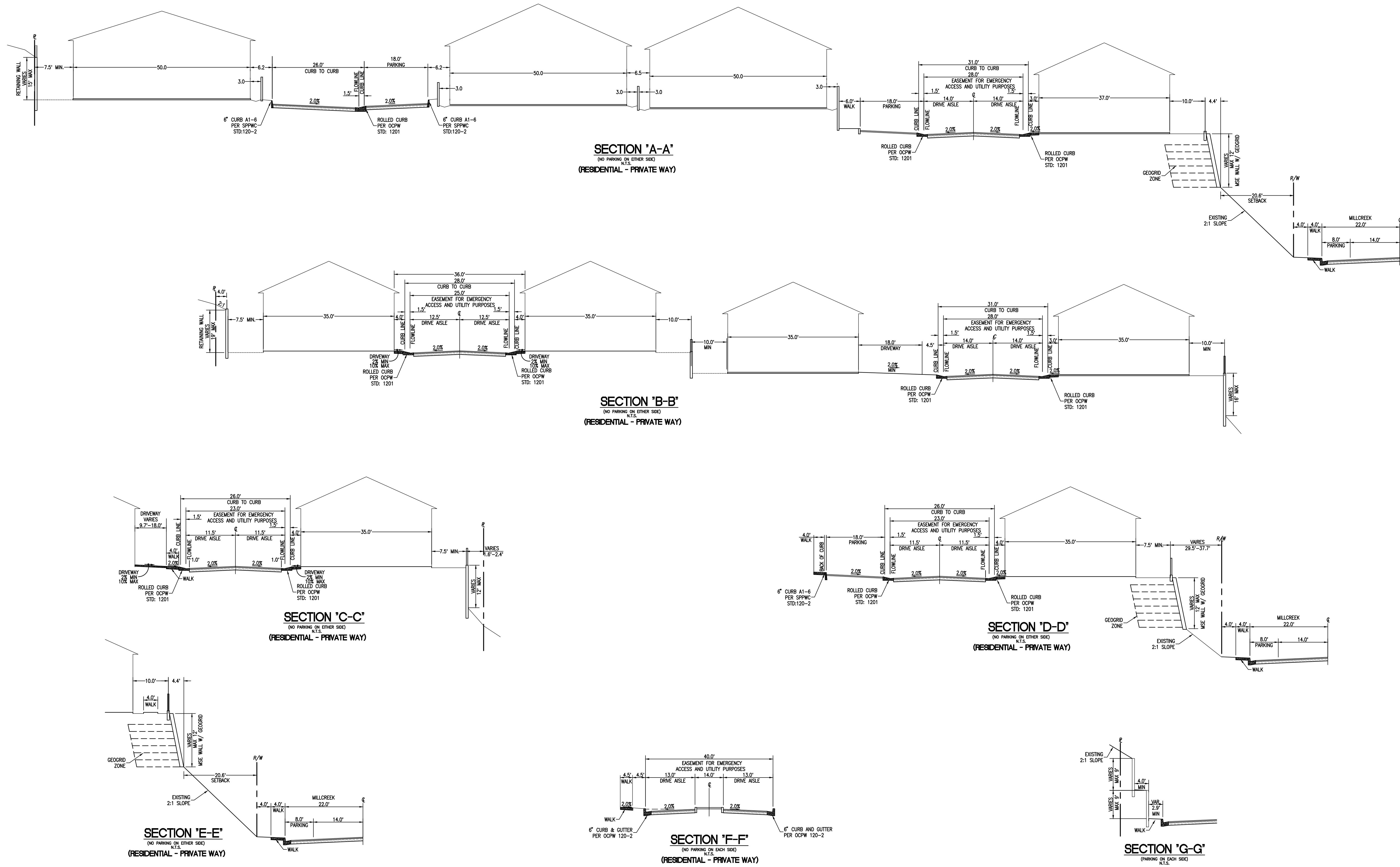
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LAGUNA HILLS - 23161 MILL CREEK

VESTING TENTATIVE TRACT MAP NO. 19346



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SECTIONS

23161 MILL CREEK | TOLL BROTHERS

LAGUNA HILLS, CALIFORNIA

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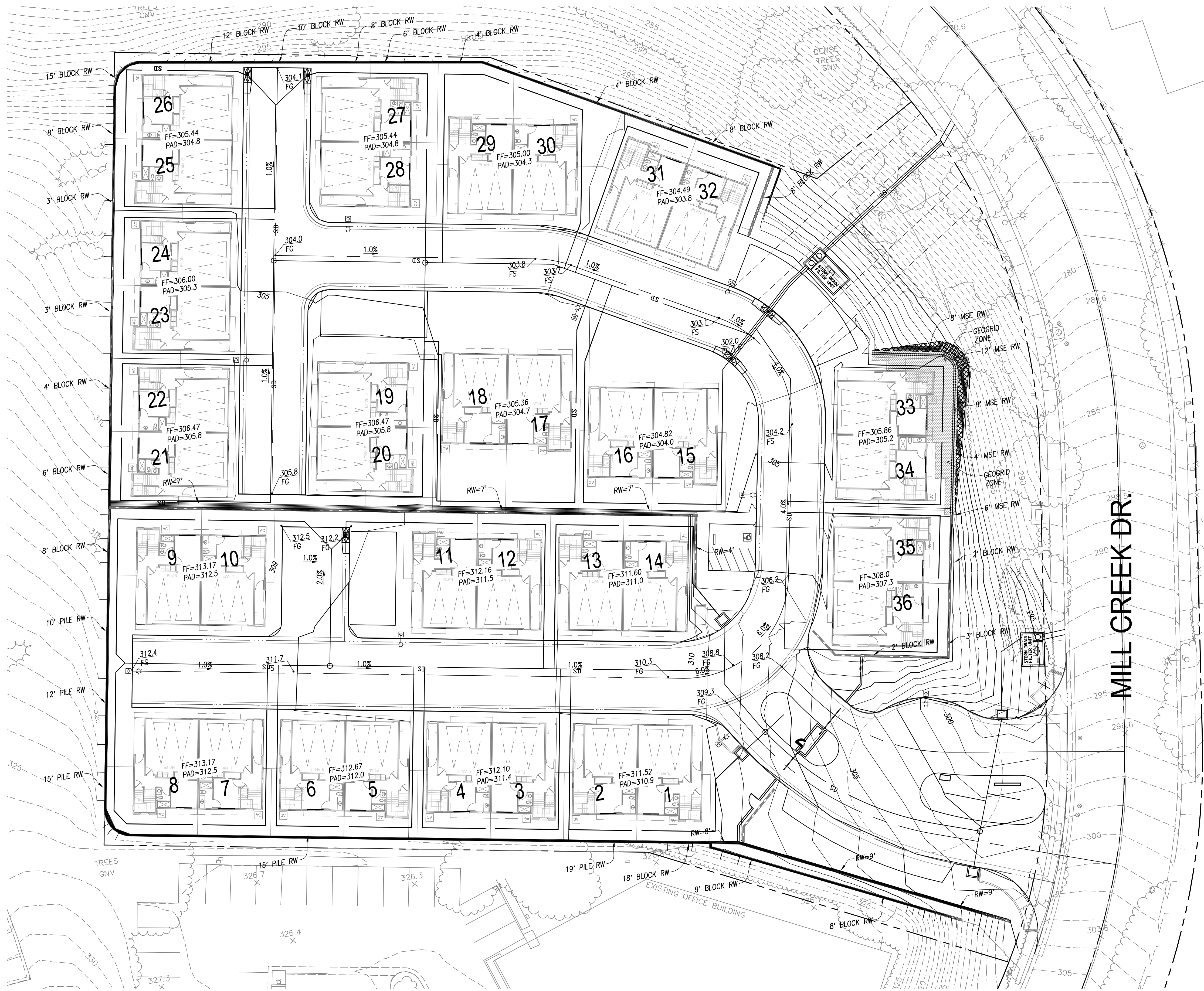
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C3

LAGUNA HILLS - 23161 MILL CREEK

VESTING TENTATIVE TRACT MAP NO. 19346



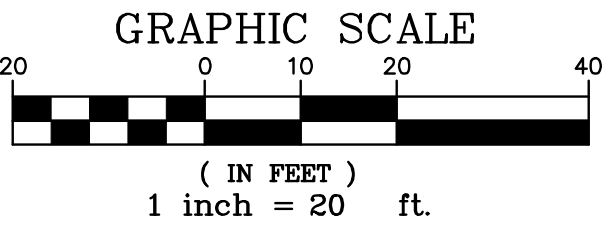
LEGEND

- STREET CENTER LINE
- RIGHT OF WAY
- TRACT BOUNDARY
- LOT LINE
- EASEMENT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STREET LIGHT
- FIRE HYDRANT
- STORM DRAIN CATCH BASIN
- STORM DRAIN GRATE INLET
- VERDURA 4:1 BLOCK WALL
- VERDURA BLOCK WALL GEOGRID LIMITS

PRELIMINARY EARTH WORK VOLUMES:

CUT VOLUME	3,109 CU. YD.
FILL VOLUME	7,889 CU. YD.
NET VOLUME	4,780 CU. YD.<FILL>

CONCEPTUAL GRADING AND DRAINAGE PLAN



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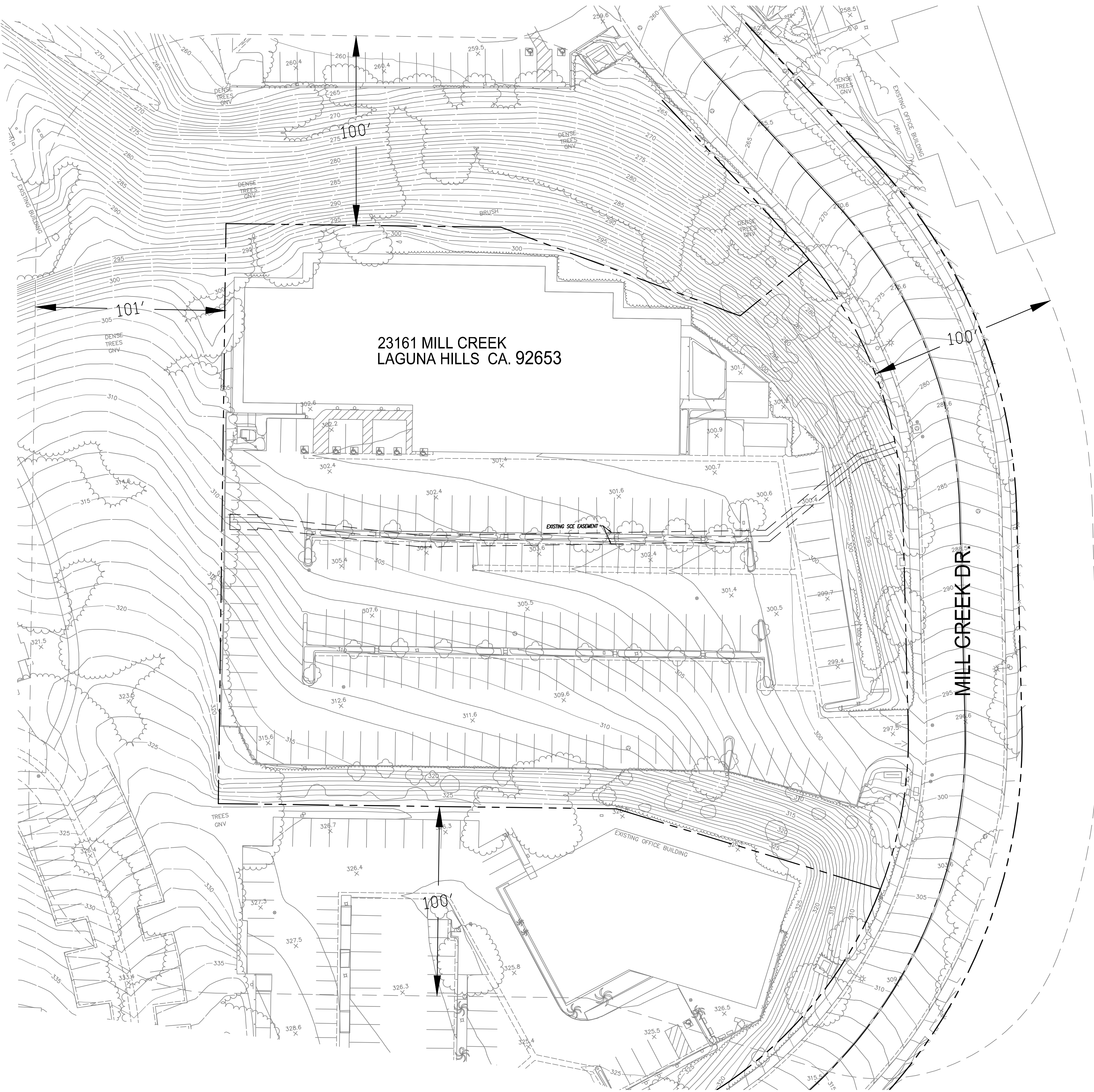
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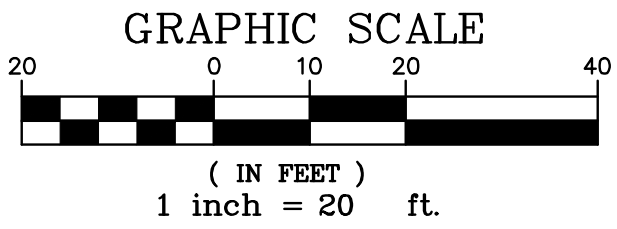
LAGUNA HILLS - 23161 MILL CREEK

VESTING TENTATIVE TRACT MAP NO. 19346



LEGEND

STREET CENTER LINE	---
RIGHT OF WAY	---
TRACT BOUNDARY	---
LOT LINE	---
EASEMENT	---
EXISTING CONTOUR	---
FIRE HYDRANT	⊕
CATCH BASIN	⊞
STREET LIGHT	⊙



EXISTING SITE PLAN

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LAGUNA HILLS, CALIFORNIA

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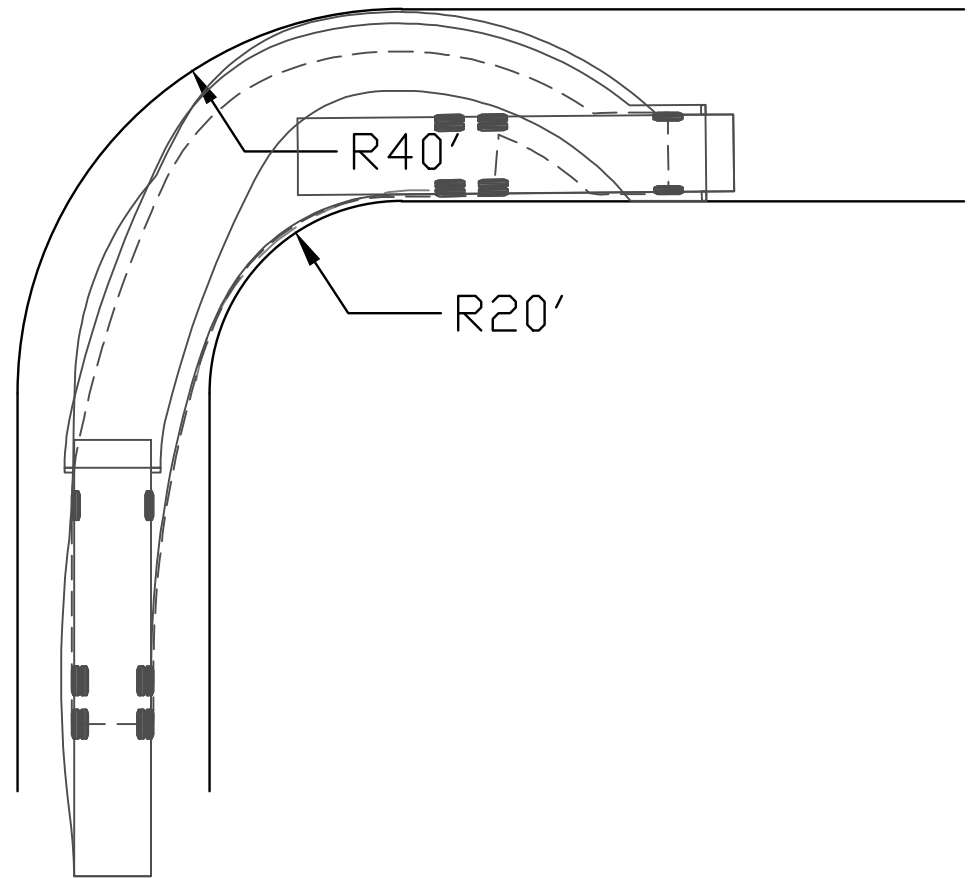
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VESTING TENTATIVE TRACT MAP NO. 19346

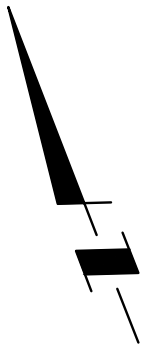
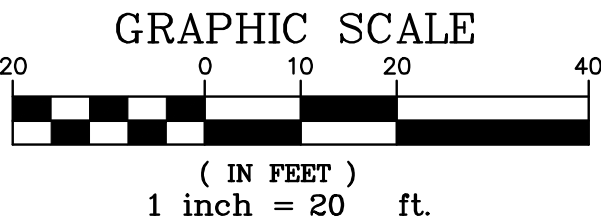


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TYP.

PARKING SUMMARY

UNIT TYPE	NUMBER OF BEDROOMS	NUMBER OF UNITS	PARKING REQUIRED	PARKING PROVIDED
PLAN 1	4	18	SEE NOTE 1	90
PLAN 2	4	18		
TOTALS		36		

NOTE 1: PER DENSITY BONUS LAW THE MAXIMUM PARKING RATIO FOR 4 BEDROOM HOMES IS 2.5.



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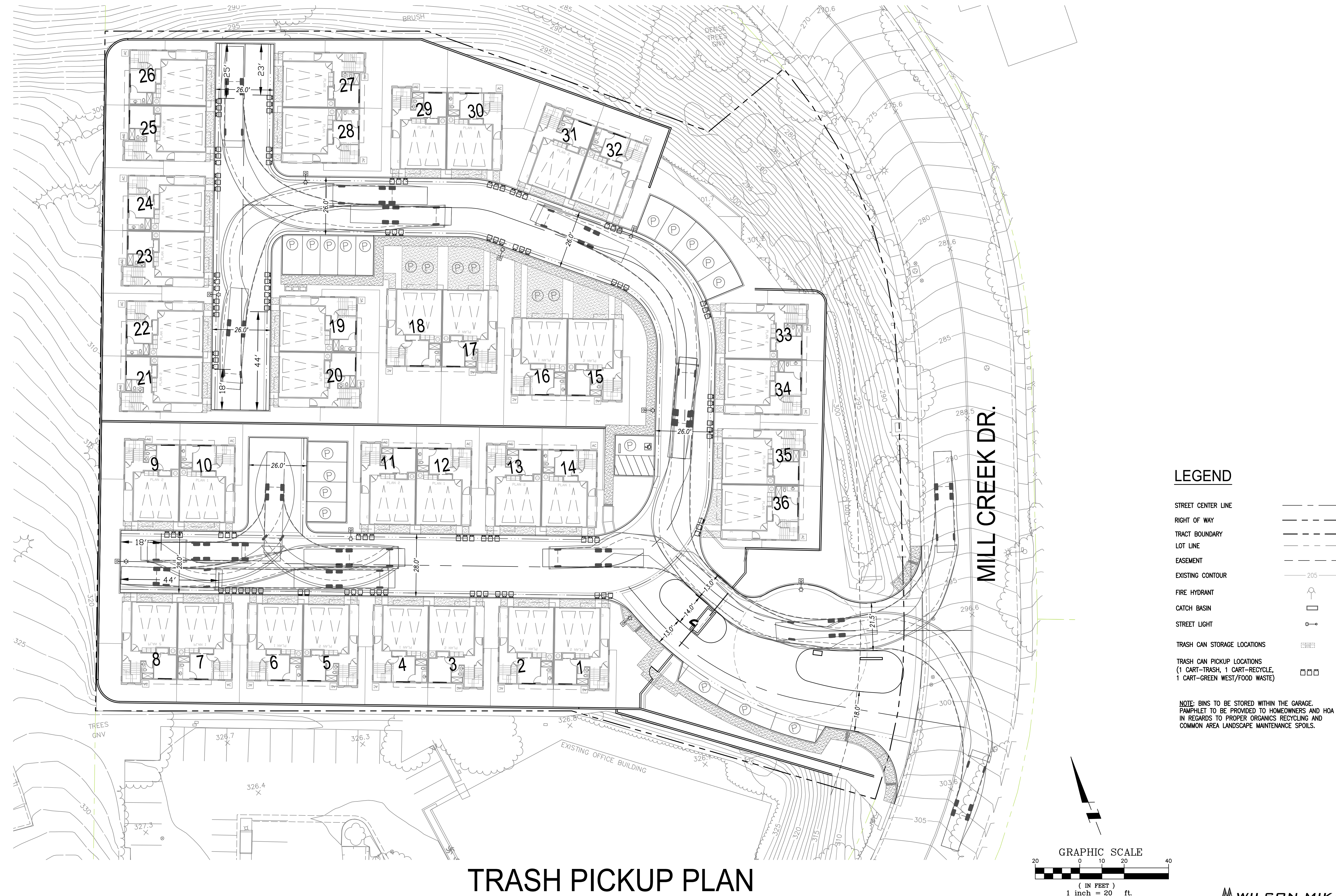
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PARKING AND ACCESS PLAN
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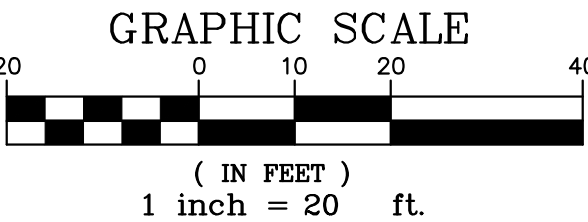
LAGUNA HILLS - 23161 MILL CREEK
VESTING TENTATIVE TRACT MAP NO. 19346



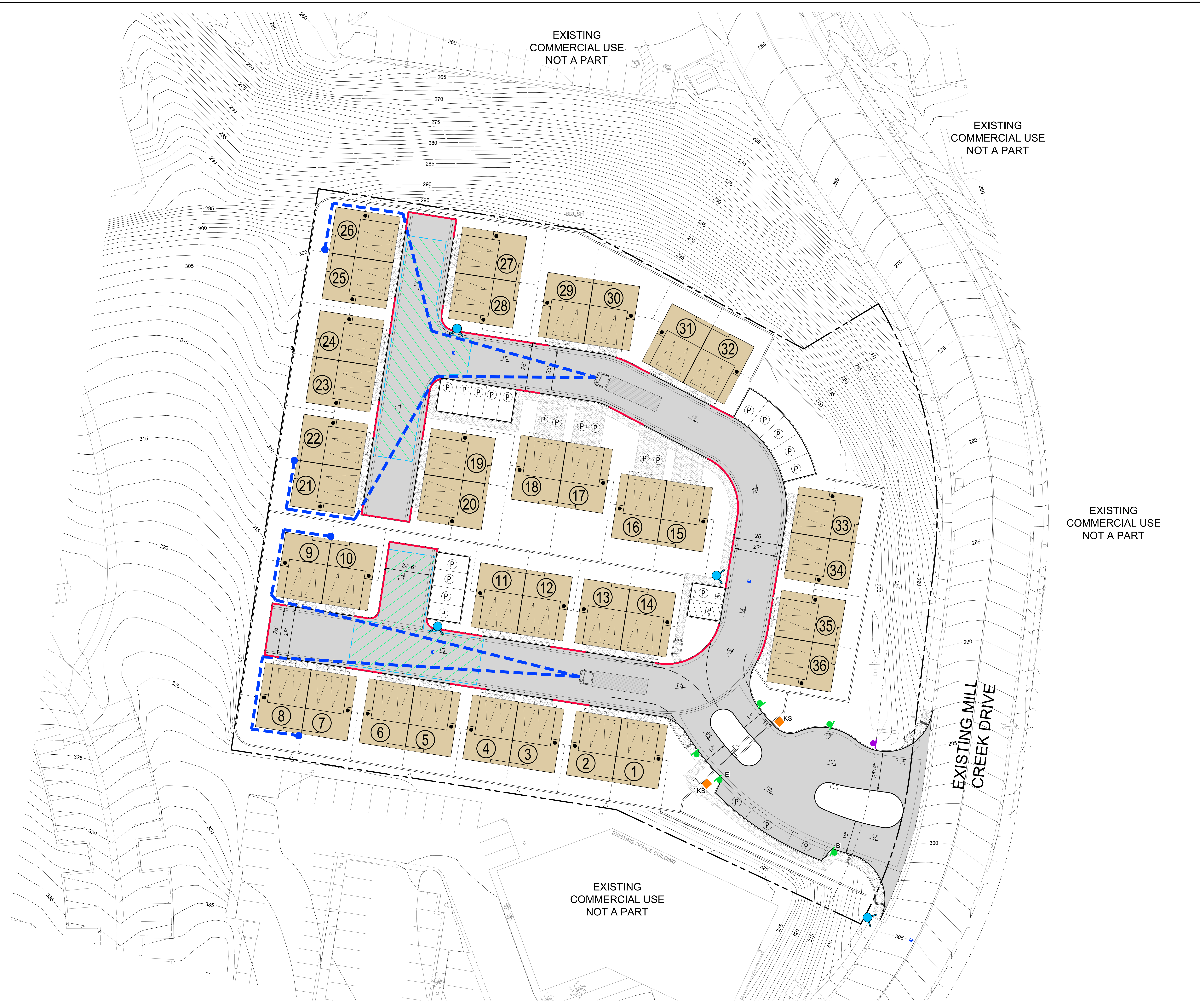
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TRASH PICKUP PLAN
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LAGUNA HILLS, CALIFORNIA
NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS



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LEGEND

- INDICATES EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE LANE ENTRY SIGN
- PROPOSED FIRE LANE ENTRY SIGN
- PROPOSED FIRE LANE ENTRY SIGN
- PROPOSED FIRE LANE ENTRY SIGN
- PROPOSED PAINTED RED CURB WITH "FIRE LANE - NO PARKING" STENCILING PER DETAILS HEREON
- 300' MAXIMUM HOSE PULL DISTANCE TO THE FURTHEST POINT OF THE DUPLEX UNIT
- INDICATES APPROXIMATE LOCATION OF A SUB-KEYED KNOX KEY SWITCH FOR THE VEHICULAR ACCESS GATE
- INDICATES APPROXIMATE LOCATION OF THE SUB-KEYED KNOX BOX WITH 3-SETS OF ENTRY DOOR GATE KEYS FOR THE PEDESTRIAN WALK IN GATE AT THE PROJECT ENTRY.
- INDICATES PROPOSED BUILDING
- PROPOSED PAVED ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 94,000 LBS. PER OCFA REQUIREMENTS.
- INDICATES FIRE APPARATUS TURNING RADIUS 20' WIDE PATH WITH 20' INSIDE AND 40' OUTSIDE
- INDICATES UNIT NUMBER
- INDICATES FIRE DEPARTMENT TURNAROUND PER OCFA GUIDELINE B-01

FIRE LANE ENTRY SIGNS

NOTICE
NO PARKING IN AREAS MARKED AS FIRE LANES
FIRE LANE
VIOLATING VEHICLES WILL BE CITED OR TOWED AT OWNER'S EXPENSE
OC SHERIFF (949) 770-6011
CVC 22658(a) CVC 22500.1
TOWING COMPANY PHONE NUMBER

FIRE LANE
NO PARKING
VIOLATING VEHICLES WILL BE CITED OR TOWED AT OWNER'S EXPENSE
CVC 22500.1 CVC 22658(a)

PROPOSED FIRE LANE ENTRY SIGN

TOWING COMPANY CONTACT INFORMATION IS REQUIRED FOR ALL PROPERTIES WITH A STANDING WRITTEN AGREEMENT FOR SERVICES WITH A TOWING COMPANY PER THE CALIFORNIA VEHICLE CODE.

FIRE LANE
NO PARKING
VIOLATING VEHICLES WILL BE CITED OR TOWED AT OWNER'S EXPENSE
CVC 22500.1 CVC 22658(a)
BEGIN

FIRE LANE
NO PARKING
VIOLATING VEHICLES WILL BE CITED OR TOWED AT OWNER'S EXPENSE
CVC 22500.1 CVC 22658(a)
END

PROPOSED "BEGIN FIRE LANE NO PARKING" SIGN

PROPOSED "END FIRE LANE NO PARKING" SIGN

PEDESTRIAN AREAS: 7'
ALL OTHER AREAS: 5'

ROLLED CURB

STANDARD CURB

SIGN SHALL BE MOUNTED FACING THE DIRECTION OF VEHICULAR TRAVEL.

SIGNS MAY BE MOUNTED ON EXISTING POSTS OR BUILDINGS IF CENTERLINE OF SIGN IS NO MORE THAN 24 INCHES FROM EDGE OF ROADWAY.

BURY DEPTH SHALL BE A MINIMUM OF 24 INCHES AND REBAR, A CONCRETE FOOTING, OR ANOTHER METHOD TO PREVENT REMOVAL OF THE SIGN IS RECOMMENDED.

FIRE LANE PAINTED RED CURB DETAILS

NOTE: CURBS ALONG ACCESS LANES SHALL BE PAINTED ORSHA SAFETY RED OR EQUIVALENT. "FIRE LANE NO PARKING" SHALL BE PAINTED ON TOP OF CURB IN WHITE LETTERING 3 INCHES HIGH AND SHALL BE SPACED 30'-0" ON CENTER OR PORTION THEREOF.

FIRE HYDRANT SPACING REQUIREMENTS

THE PROPOSED R-3 DUPLEX UNITS ARE LESS THAN 6,200 SQ.FT. AND PROTECTED WITH AUTOMATIC FIRE SPRINKLERS, AND SHALL REQUIRE A FIRE FLOW NO LESS THAN 1,000 GPM AT 20PSI FOR 1 HOUR. THIS PROJECT SHALL MEET THE HYDRANT SPACING BELOW PER OCFA GUIDELINE B-01

Attachment 3 - Hydrant Quantity and Spacing in OCFA Jurisdiction

SINGLE FAMILY RESIDENCES/DUPLEXES/TOWNHOUSES WITH SPRINKLERS

Flow Requirement	Minimum Number of Hydrants	Maximum Distance to a Hydrant		Maximum Distance between Hydrants		Average Distance between Hydrants	
		Thru road	Dead-end	Thru road	Dead-end	Thru road	Dead-end
500 - 1750 1751+	1	300	250	600	500	600	500

Use the table below.



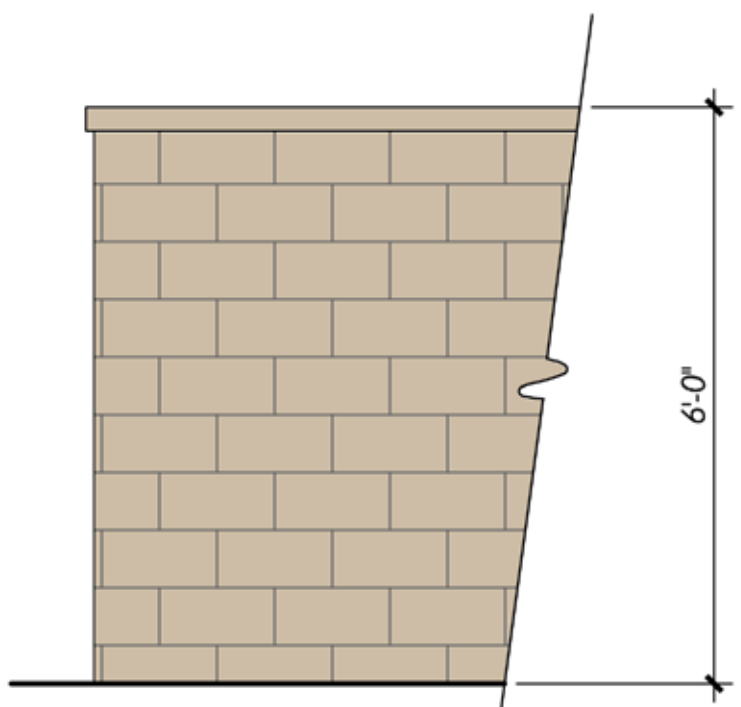
- LEGEND**
- 1 Gate Entry with Call Box
 - 2 Monument Signage Wall
 - 3 Parking Stall and Stripping
 - 4 Community Mailboxes
 - 5 Private yard
 - 6 View Fence on top of Retaining Wall
 - 7 Planted Slope
 - 8 Retaining Wall with Vine Planting

I, Paul Haden, hereby certify that I am the design professional or owner of copyright materials who prepared the architectural drawings for the development application of the above-described property. I hereby grant the City authorization to reproduce the plans within the agenda packet for public hearings and post them on the internet and further acknowledge that members of the public will have access to these plans, and they may be copied.



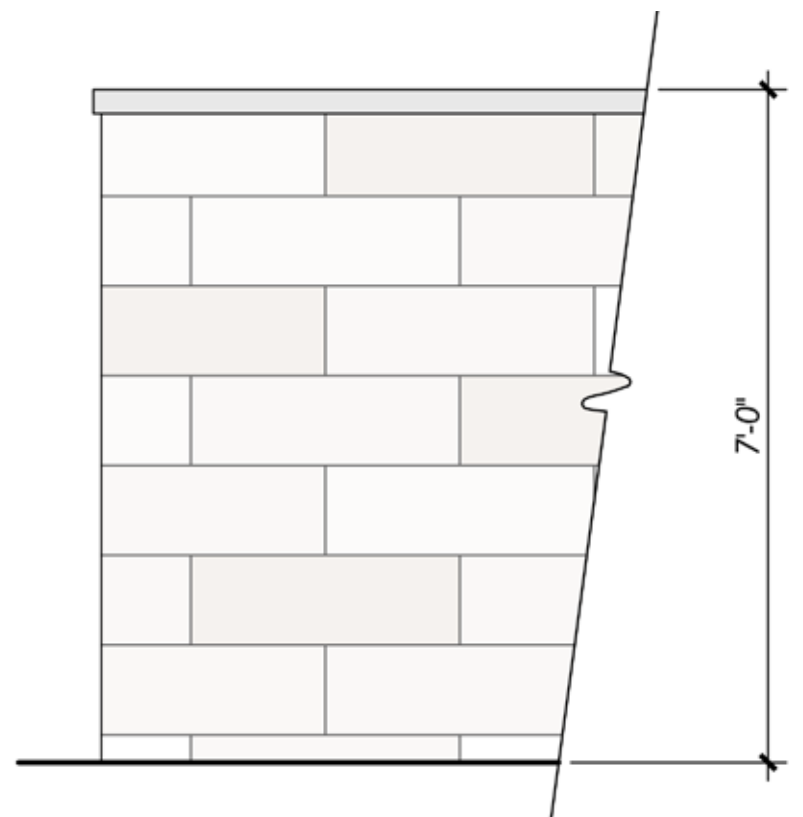


LEGEND



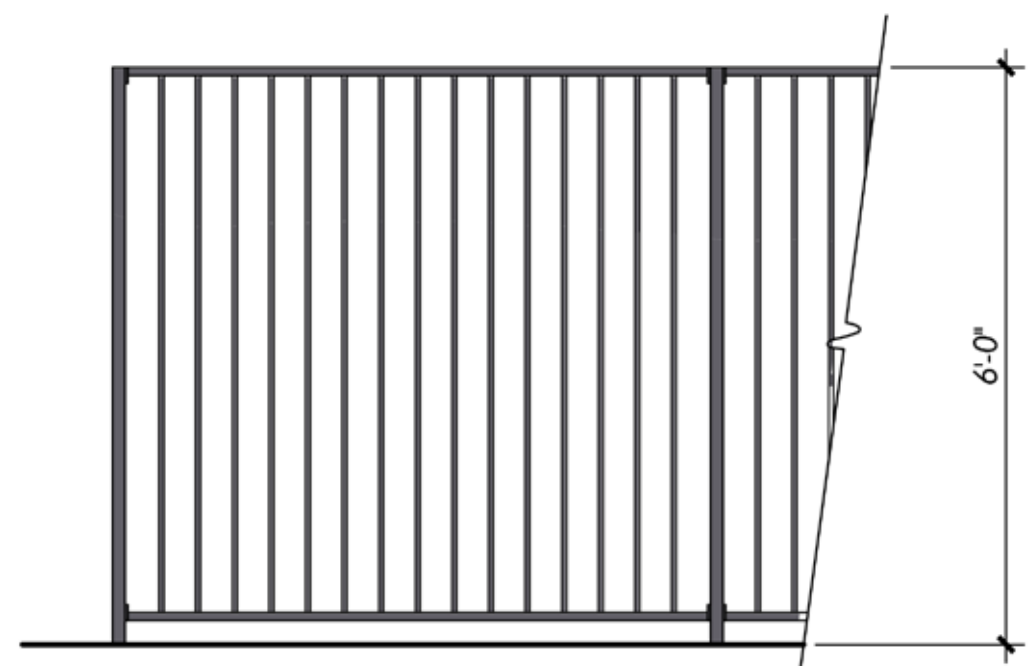
SIDEYARD WALL

- Split Face Block w/ Precision Cap
- 6'-0" ht.



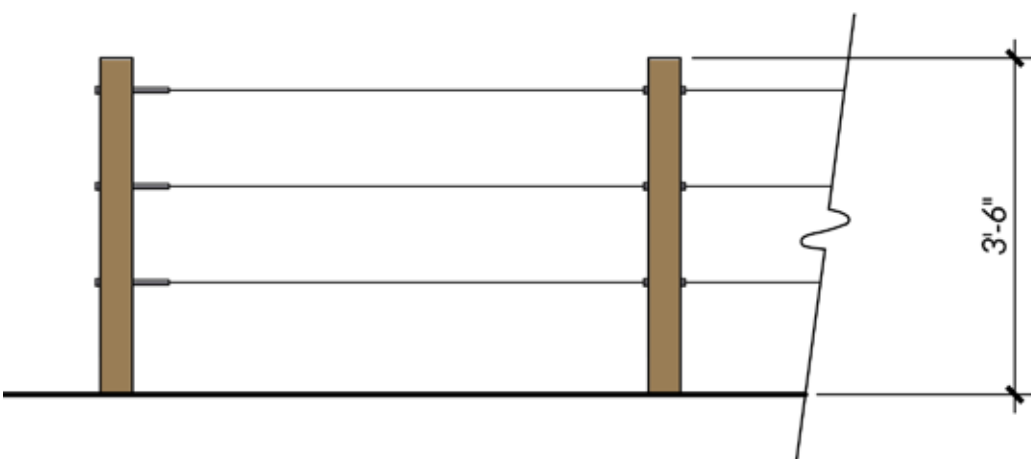
ENTRY WALL

- Cultured Stone Veneer with Cap
- 7'-0" ht.



VIEW FENCE

- Tubular Steel
- 6'-0" ht.



GUARDRAIL

- Steel Cable with Wood Posts
- 3'-6" ht.

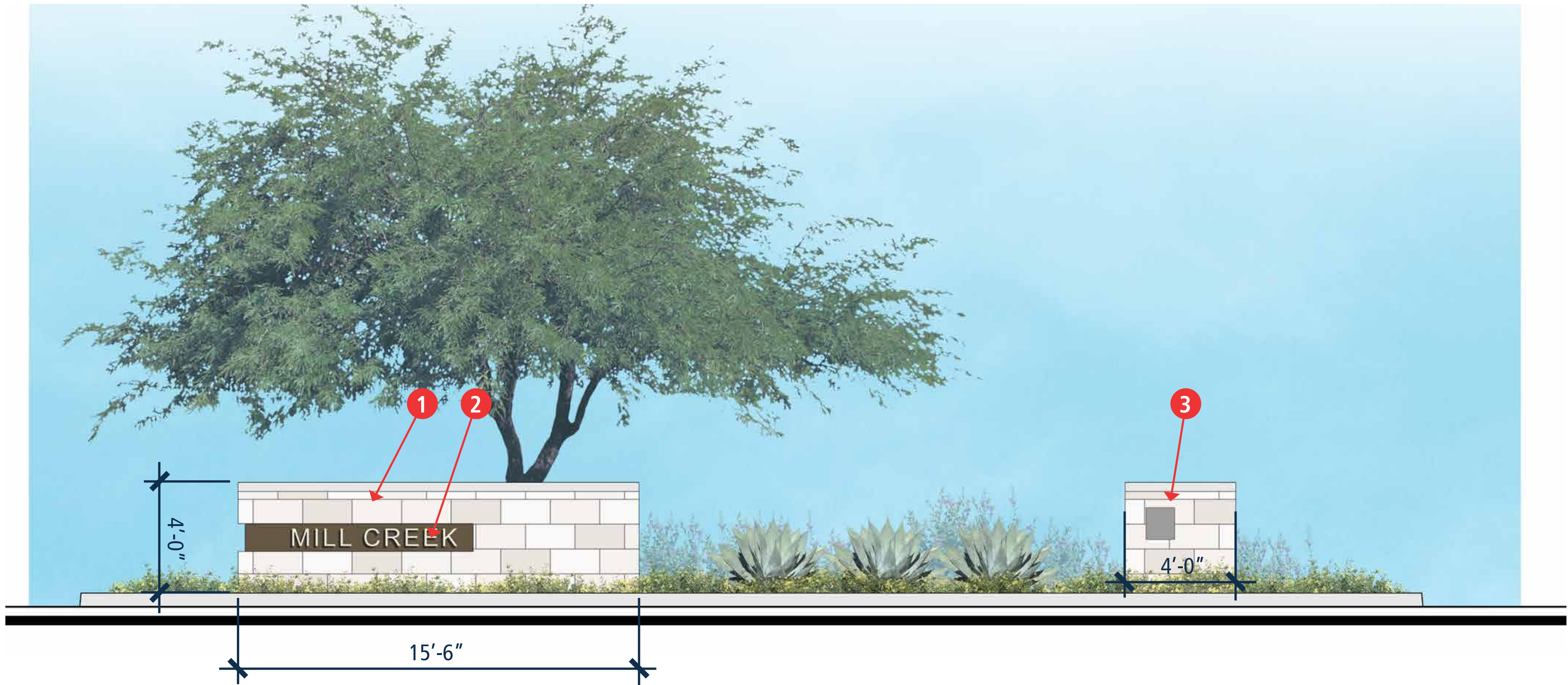
RETAINING WALL

- CMU Block with Cap or MSE Wall
- Height varies per Civil Engineer

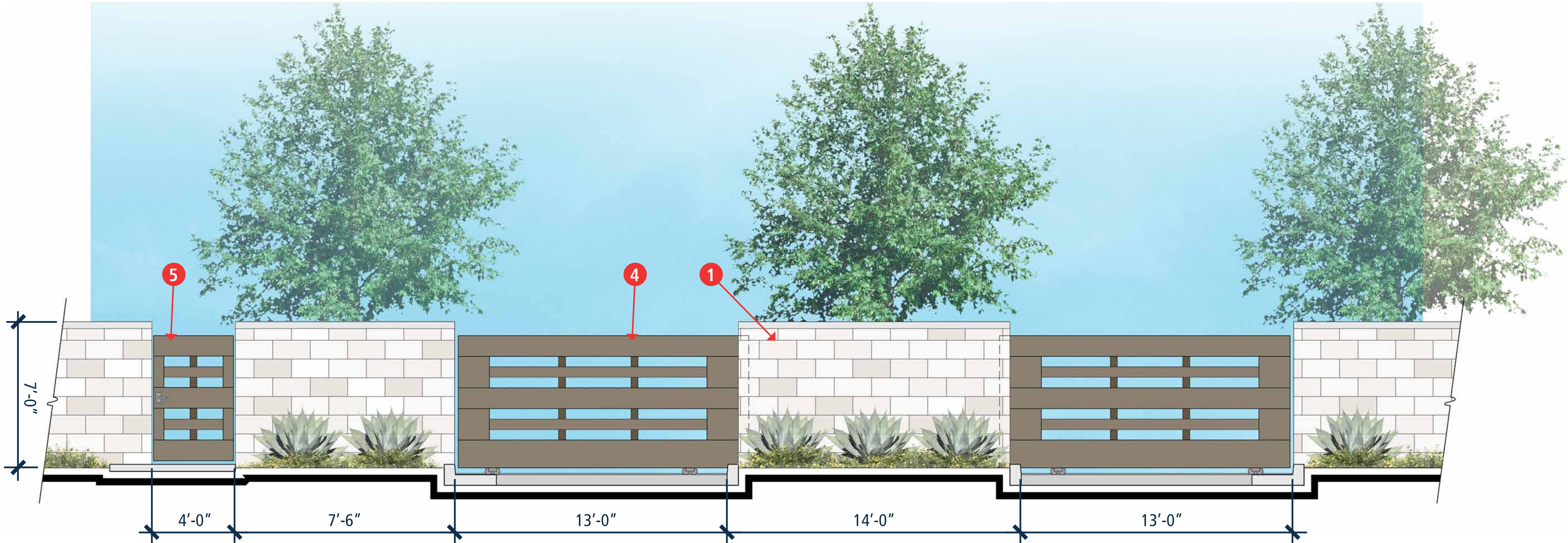


LEGEND

- 1 Cultured Stone Veneer w/ Cap
- 2 Project Signage
- 3 Call Box
- 4 Rolling Vehicular Gates
- 5 Pedestrian Gate



ELEVATION A: ENTRY MONUMENT
SCALE: 3/8"=1'-0"



ELEVATION B: ENTRY GATES
SCALE: 3/8"=1'-0"





TREES:

LARGE CANOPY TREES (48" BOX MIN.) QTY: 7

SYMBOL	SCIENTIFIC NAME	COMMON NAME	WUCOLS
	Cercidium 'Desert Museum'	Desert Museum Palo Verde	VL
	Pistacia chinensis	Chinese Pistache	L
	Platanus racemosa	Western Sycamore	M
	Podocarpus gracilior	African Fern Pine	M
	Quercus virginiana	Southern Live Oak	M
	Ulmus parvifolia	True Green Chinese Elm	M

MEDIUM ACCENT TREE (36" BOX MIN.) QTY: 19

SYMBOL	SCIENTIFIC NAME	COMMON NAME	WUCOLS
	Cercis canadensis	Eastern Redbud	M
	Lagerstroemia ssp.	Crape Myrtle	M
	Olea europaea 'Swan Hill'	Olive	L
	Platanus acerfolia	London Plane Tree	M
	Searsia lancea	African Sumac	L

PERIMETER SCREENING TREE (24" BOX MIN.) QTY 5

SYMBOL	SCIENTIFIC NAME	COMMON NAME	WUCOLS
	Arbutus 'Marina'	Marina Strawberry Tree	L
	Laurus nobilis	Sweet Bay	L
	Tristania conferata	Brisbane Box	M

SMALL ACCENT TREE (24" BOX MIN.) QTY 14

SYMBOL	SCIENTIFIC NAME	COMMON NAME	WUCOLS
	Cercis occidentalis	Western Redbud	L
	Feijoa sellowiana	Pineapple Guava	L
	Podocarpus elongatus 'Monmal'	Icee Blue Podocarpus	M
	Podocarpus macrophyllus	Fern Podocarpus	M
	Prunus caroliniana 'Bright and Tight'	Carolina Cherry Laurel	M

SHRUBS/VINES:

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	WUCOLS
	Agave spp.	Agave	5 gal.	VL
	Aloe spp.	Aloe	5 gal.	L
<p>QUANTITIES: 1 gal: 2680sf [670 plants]</p> <p>5 gal: 5375 sf [610 plants]</p> <p>15 gal: 900 sf [80 plants]</p>	Buxus japonica 'Green Beauty'	Japanese Boxwood	5 gal.	M
	Callistemon spp.	Bottle Brush	5 gal.	L
	Cistus 'Sunset'	Magenta Rockrose	5 gal.	L
	Dasylium spp.	Desert Spoon	5 gal.	VL
	Dianella spp.	Flax Lily	5 gal.	L
	Dietes bicolor	Fortnight Lily	5 gal.	L
	Festuca mairei	Atlas Fescue	5 gal.	L
	Hesperaloe spp.	Yucca	5 gal.	L
	Heteromeles arbutifolia	Toyon	15 gal.	VL
	Juncus patens	California Gray Rush	5 gal.	M
	Lavandula spp.	Lavender	5 gal.	L
	Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	5 gal.	L
	Ligustrum japonicum 'Texanum'	Waxleaf Privet	5 gal.	L
	Lomandra spp.	Dwarf Mat Rush	5 gal.	L
<p>QUANTITIES: 3800 sf [1600 plants]</p>	Olea europaea 'Montra'	Little Ollie Dwarf Olive	5 gal.	VL
	Pittosporum tobira variegata	Vairegated Mock Orange	5 gal.	M
	Raphiolepis spp.	Indian Hawthorn	5 gal.	L
	Salvia 'Bees Bliss'	Bee's Bliss Sage	5 gal.	L
	Westringia spp.	Coast Rosemary	5 gal.	L
	Bougainvillea spp. [V/E]	Bougainvillea	15 gal.	L
	Calliandra haematocephala [V/E]	Pink Powderpuff	15 gal.	M
	Trachelospermum jasminoides [V/E]	Star Jasmine	15 gal.	M
	Rosa banksiae [V/E]	Lady Banks Rose	15 gal.	L

GROUNDCOVERS:

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	WUCOLS
	Acacia redolens	Prostrate Acacia	1 gal.	VL
	Carissa 'Boxwood Beauty'	Natal Plum	1gal.	L
	Carex tumulicola	Foothill Sedge	1 gal.	L
	Lonicera japonica	Japanese Honeysuckle	1 gal.	L
	Myoporum p. 'Putah Creek'	Creeping Myoporum	1 gal.	L
	Raphiolepis spp.	Indian Hawthorn	5 gal.	L
	Rosmarinus officinalis	Rosemary	5 gal.	L
	Trachelospermum asiaticum	Asian Star Jasmine	1 gal.	M
	Westringia 'Low Horizon'	Coast Rosemary	5 gal.	L

HOMEOWNER YARD: PLANTED AND MAINTAINED BY HOMEOWNER

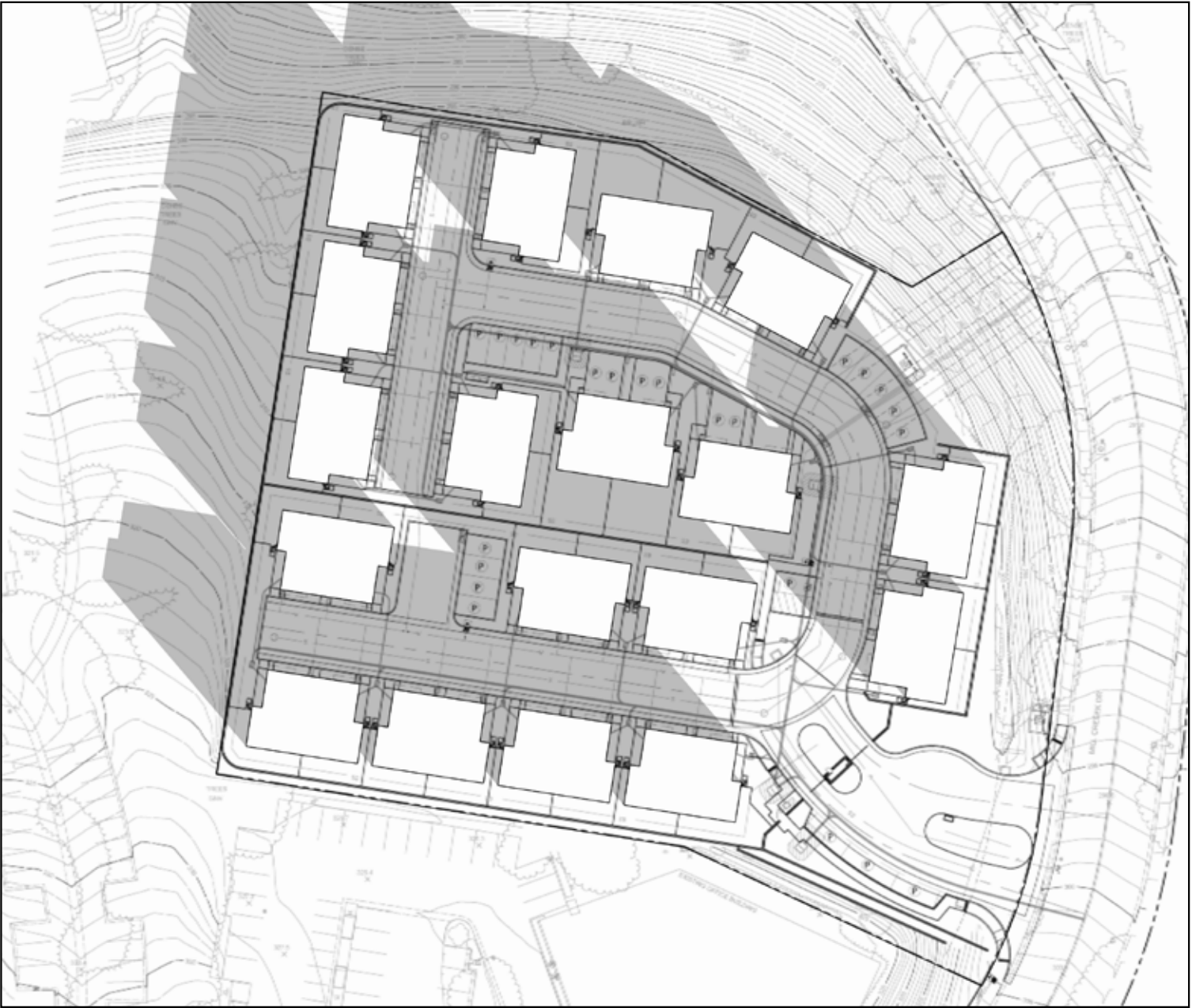
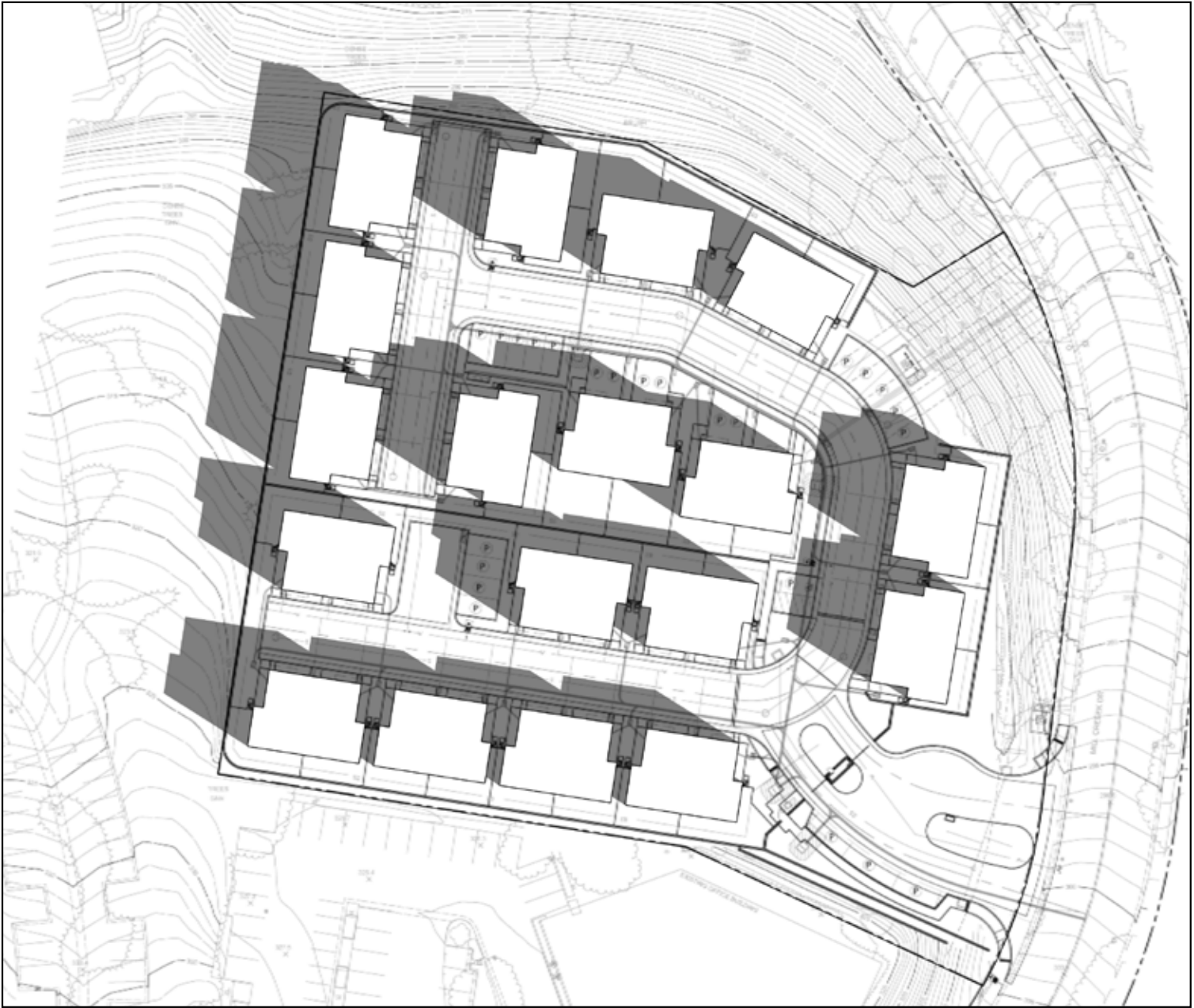
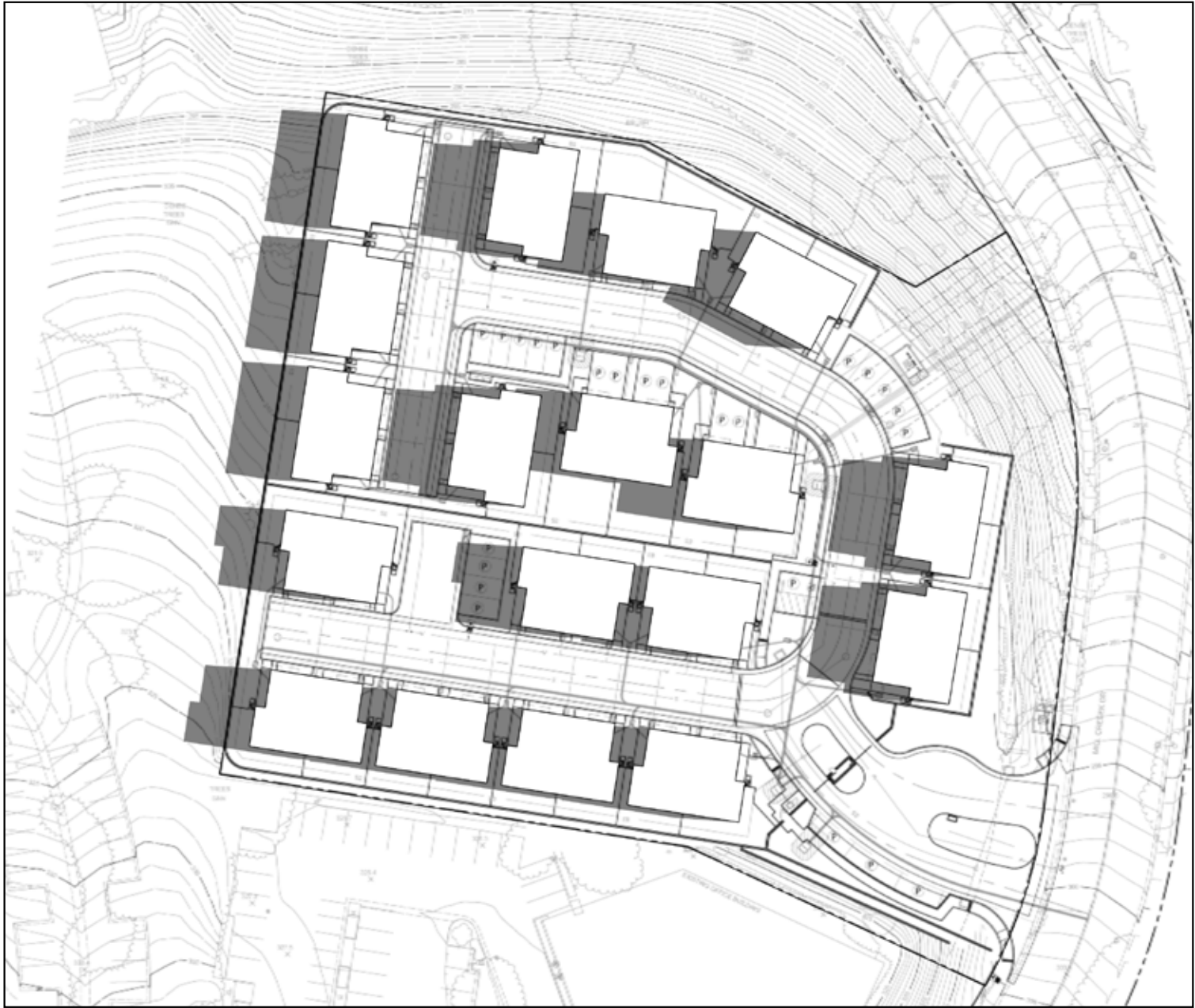
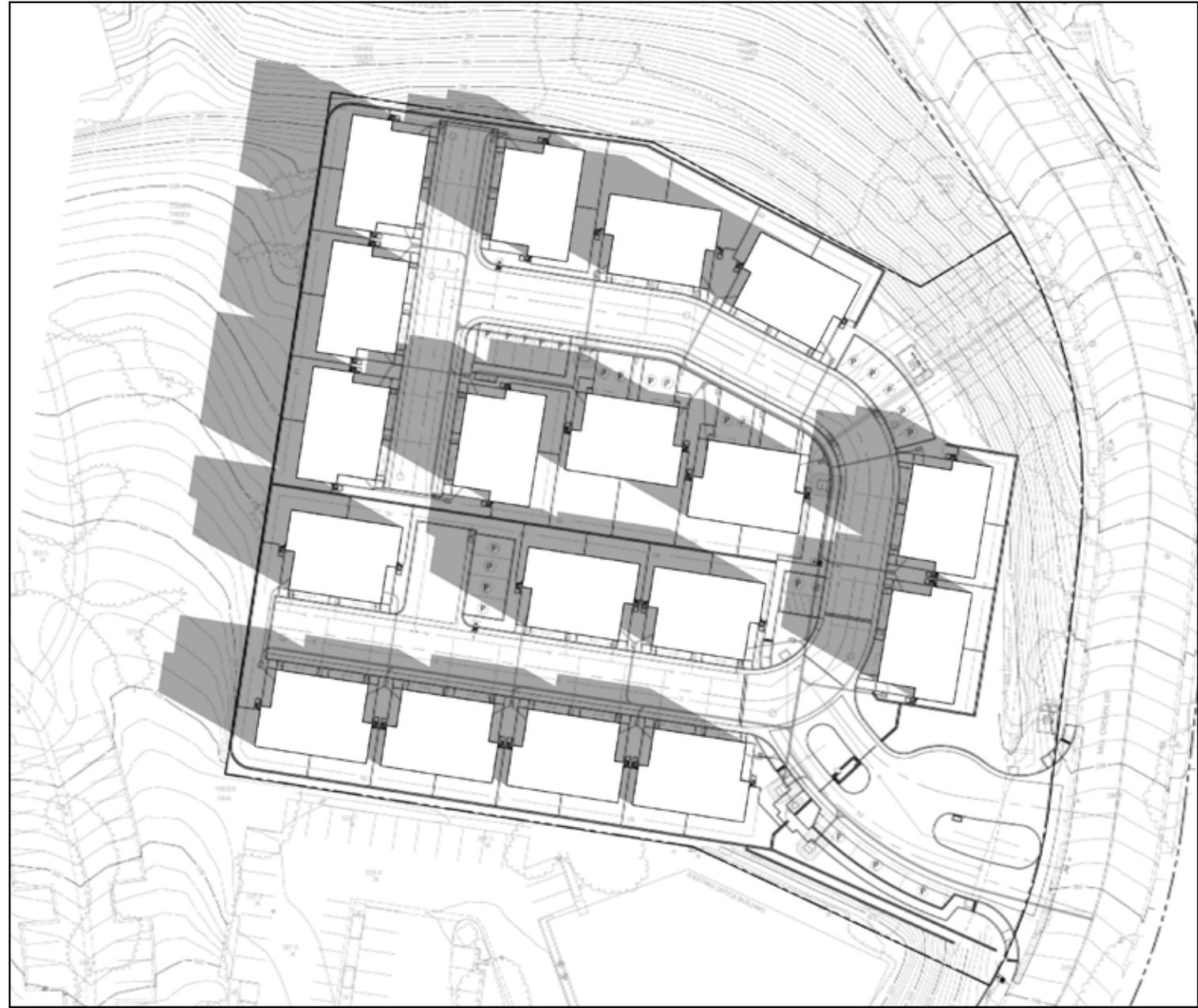
MARCH

JUNE

SEPTEMBER

DECEMBER

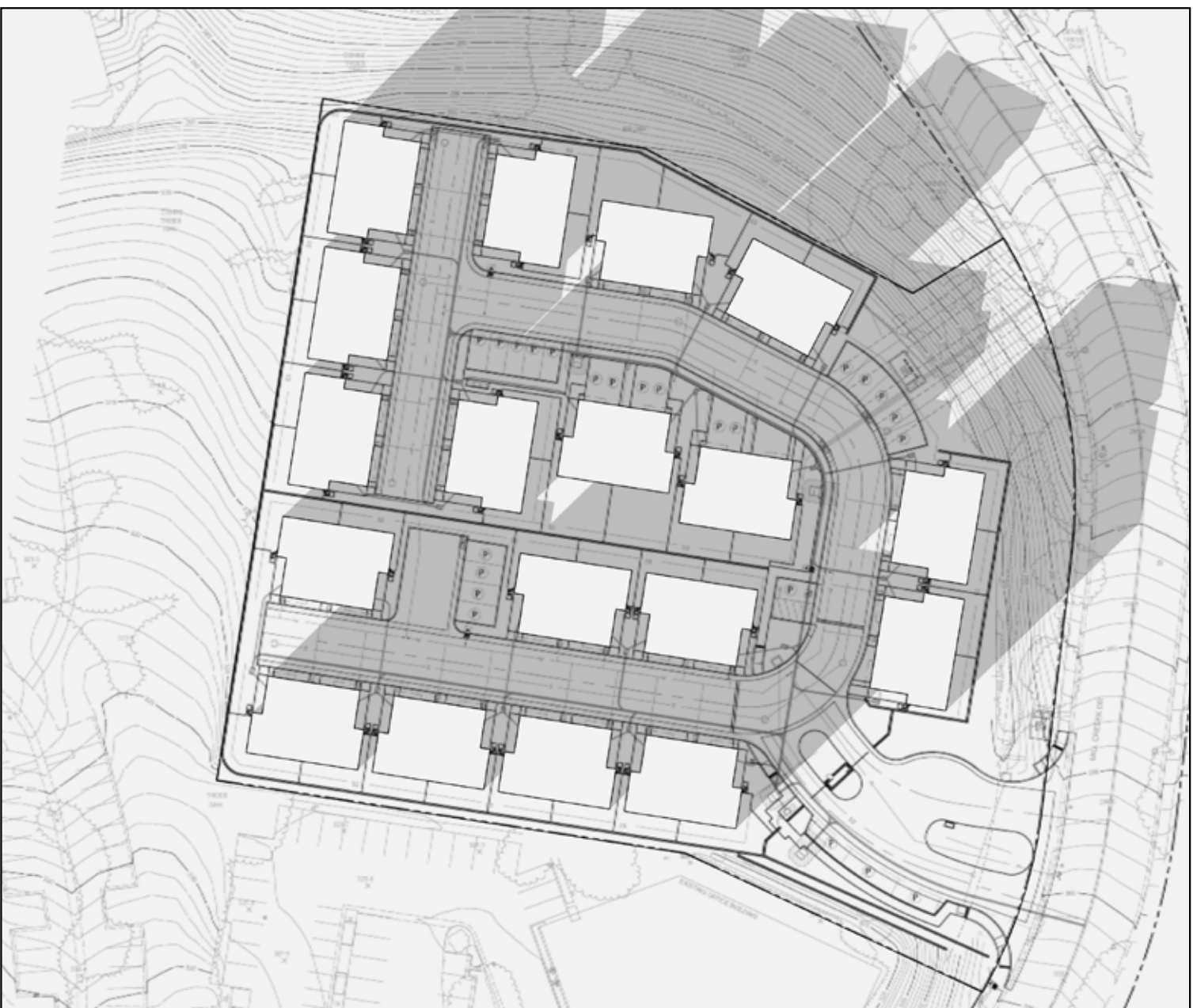
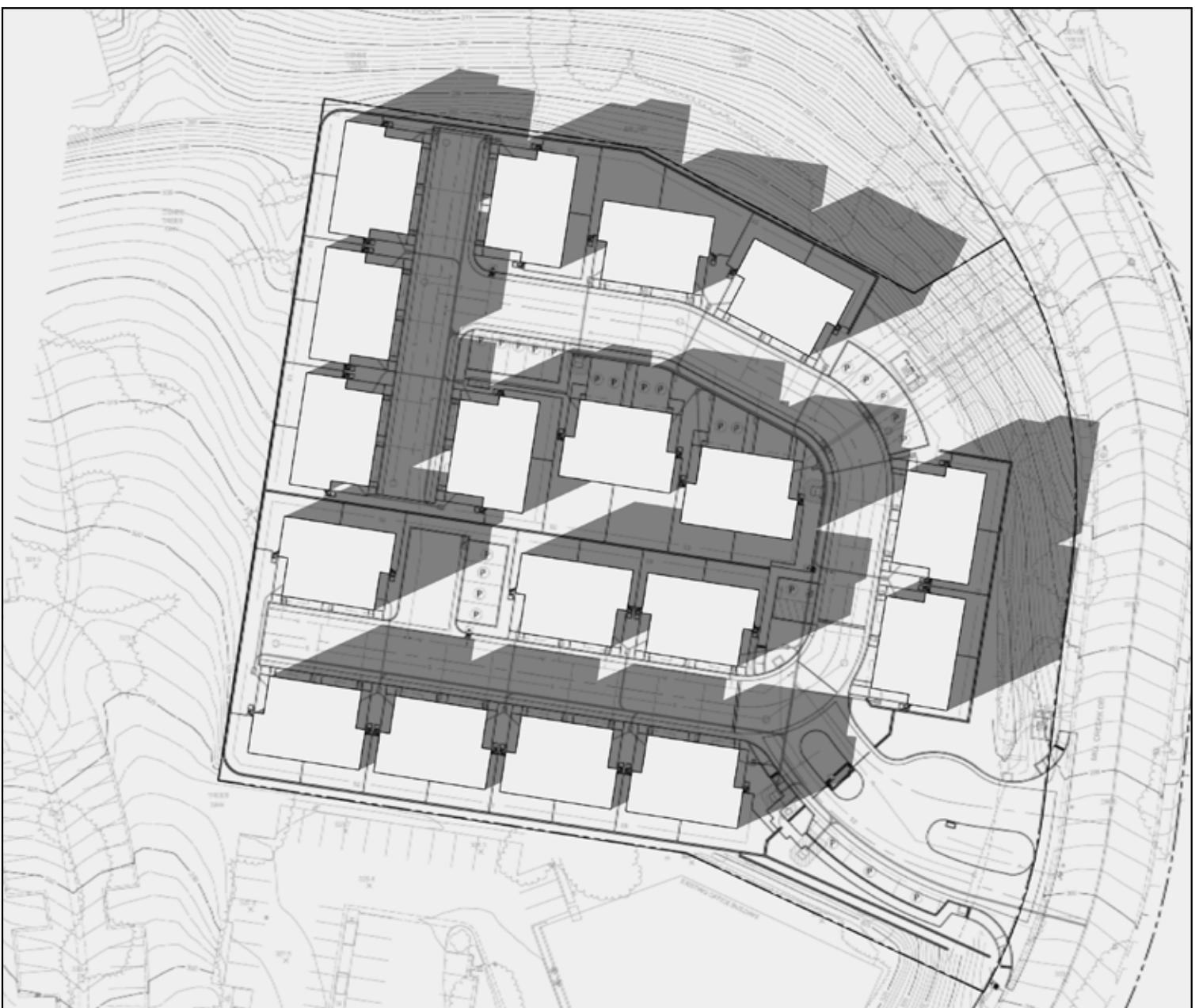
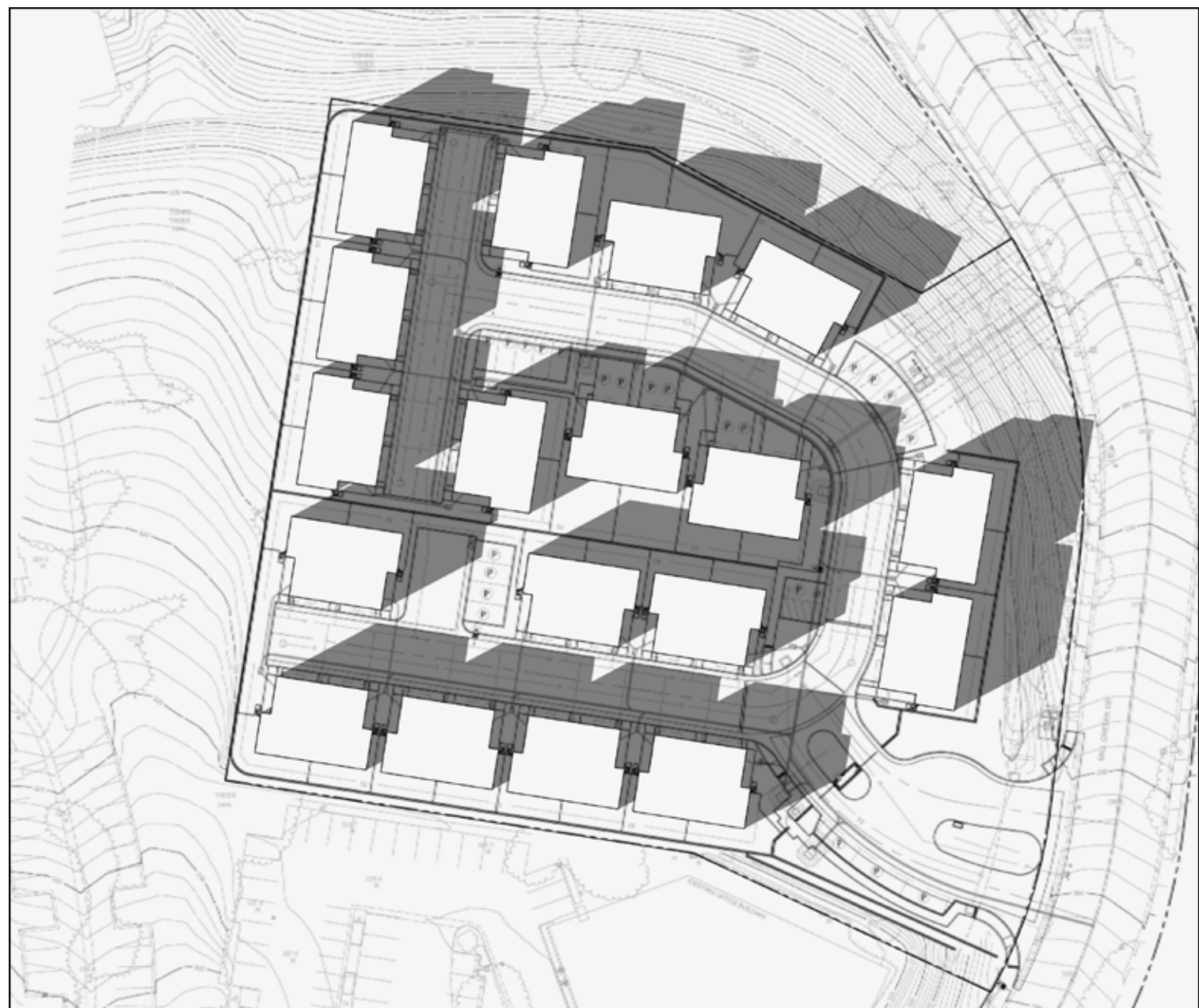
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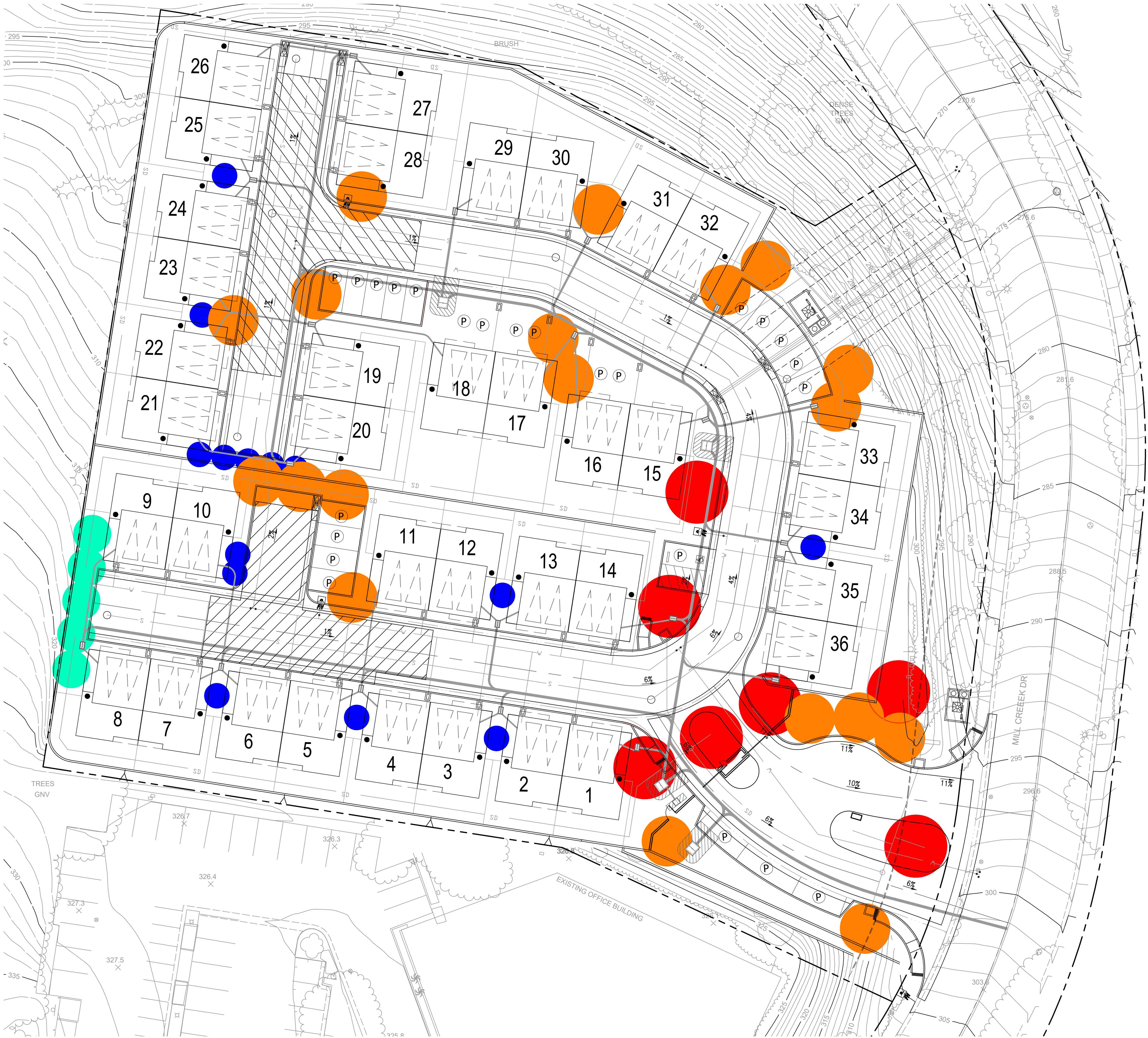


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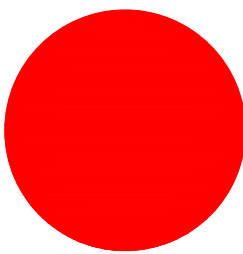


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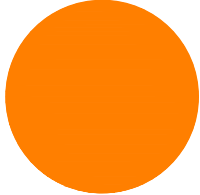


LEGEND



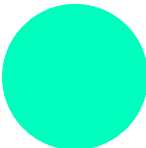
LARGE CANOPY TREE [25' CANOPY]

- | | |
|---------------------------|--------------------------|
| Cercidium 'Desert Museum' | Desert Museum Palo Verde |
| Pistacia chinensis | Chinese Pistache |
| Platanus racemosa | Western Sycamore |
| Podocarpus gracilior | African Fern Pine |
| Quercus virginiana | Southern Live Oak |
| Ulmus parvifolia | True Green Chinese Elm |



MEDIUM ACCENT TREE [20' CANOPY]

- | | |
|---------------------------|-------------------|
| Cercis canadensis | Eastern Redbud |
| Lagerstroemia ssp. | Crape Myrtle |
| Olea europaea 'Swan Hill' | Olive |
| Platanus acerfolia | London Plane Tree |
| Searsia lancea | African Sumac |



PERIMETER ACCENT TREE [15' CANOPY]

- | | |
|---------------------|------------------------|
| Arbutus 'Marina' | Marina Strawberry Tree |
| Laurus nobilis | Sweet Bay |
| Tristania confereta | Brisbane Box |

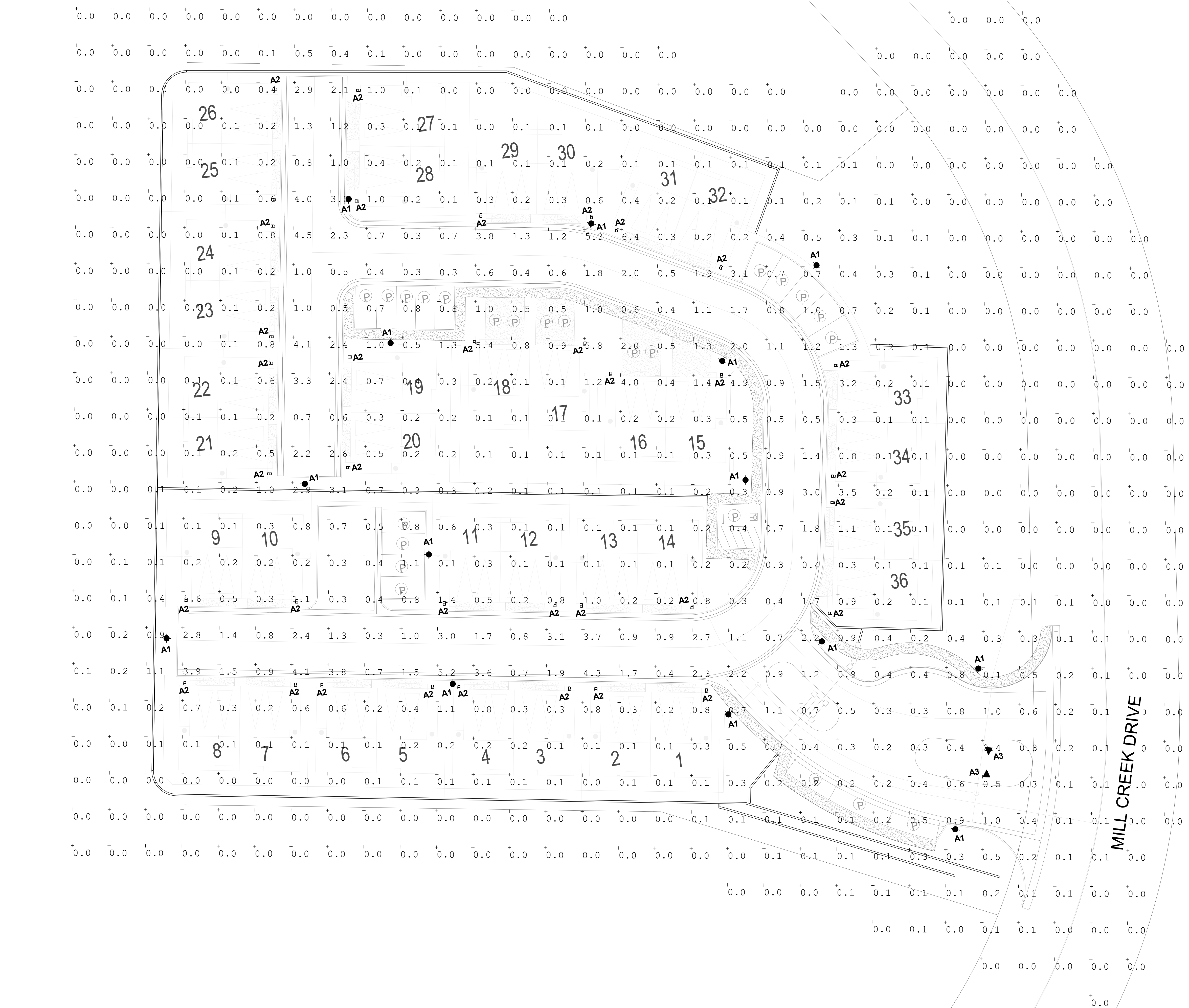


SMALL ACCENT TREE [10' CANOPY]

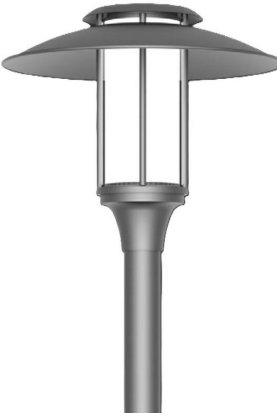
- | | |
|---------------------------------------|------------------------|
| Cercis occidentalis | Western Redbud |
| Feijoa sellowiana | Pineapple Guava |
| Podocarpus elongatus 'Monmal' | Icee Blue Podocarpus |
| Podocarpus macrophyllus | Fern Podocarpus |
| Prunus caroliniana 'Bright and Tight' | Carolina Cherry Laurel |

MILL CREEK DRIVE







LIGHTING FIXTURE LEGEND



A1
36W LED POST LIGHT ON 16FT POLE
TYPE 3 DISTRIBUTION WITH HOUSE SIDE
SHIELD
3000K - 3096 LUMENS



A2
BUILDING COACH LIGHT



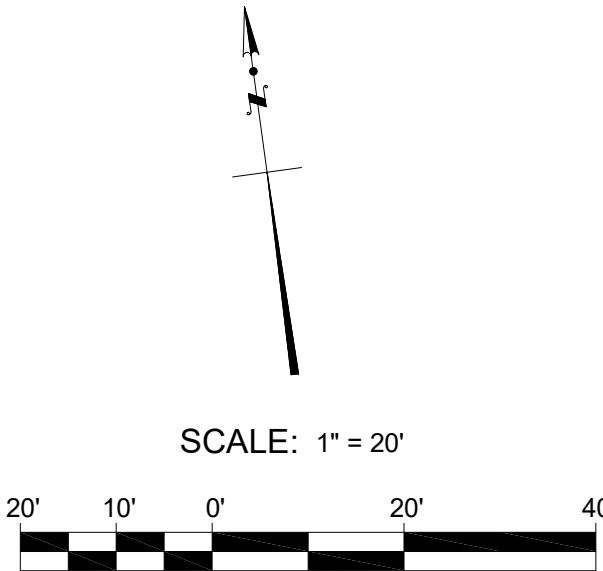
A3
12.6W LED SIGN LIGHT
3000K - 1119 LUMENS

PHOTOMETRIC RESULTS

PHOTOMETRIC RESULTS OBTAINED USING A LLF OF 0.9.

CALCULATION SURFACE	MIN	MAX	AVERAGE
ON-SITE STREETS	0.2 FC	6.1FC	1.35 FC
OVERALL SITE	0.0 FC	6.4 FC	0.44 FC

*OFF-SITE STREET LIGHTING NOT INCLUDED IN CALCULATION.



<div>NO WORK SHALL BE DONE ON THIS SITE UNTIL BELOW AGENCY IS NOTIFIED OF INTENTION TO GRADE OR EXCAVATE. Underground Service Alert. Call: TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG</div>	CLIENT: TOLL BROTHERS, INC. 725 W. TOWN & COUNTRY ROAD, SUITE 200 ORANGE, CA 92668 TEL: (949) 297-3850					BENCHMARK: BASIS OF BEARING:	ENGINEER OF RECORD'S SEAL Intelligent Lighting Systems Design + Procurement <small>1255 W. COLT PARKWAY STE. 400 IRVINE, CA 92614 (949) 260-0074 info@ilsgroup.com</small>	CITY OF LAGUNA HILLS ORANGE COUNTY		ACCT. NO.
								KHOSHBIN LAGUNA HILLS, CA		SHEET EP1 OF 2
								PHOTOMETRIC SITE PLAN		
		MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR	DATE	FOR:	CITY I. D. NO.
				E.O.R.	REVISION					

NEWPORT

ARCHITECTURAL LIGHTING

LED WATTAGE CHART

	16L	20L	32L	48L
350 milliamps		21w	22w	33w
400 milliamps	21w	22w	33w	51w
630 milliamps	29w	33w	54w	-
700 milliamps	30w	44w	71w	-
1050 milliamps	52w			

The Newport LED is a beautiful series of uplifting luminaires designed to make people feel comfortable in any retail, urban, park, or pathway setting. The patent pending Star Power LED optical system improves light efficiently offering up to 70 percent energy savings over traditional light sources, directing the light downward with the elimination of direct up light. The Newport LED comes standard with an opal lens.

Available in a range of warm to cool colors. The Newport LED is available in Amber, 2700K, 3000K, 3500K, 4000K or 5000K Kelvin. The Newport utilizes the highest lumen per watt LEDs available. The Newport Series is available from 21 to 71 watts.

BUY AMERICAN

To ensure the latest BAA/TAA/BABA Standards are being met, please select BAA, TAA, or BABA in the options section. Please contact the factory before placing an order for any NLS products requesting BAA (Buy American Act), TAA (Trade American Act), or BABA (Build America, Buy America).

STAR POWER™ OPTICAL SYSTEM

The Star Power™ reflector is an excellent system which provides great value and performance. Star Power Patent number: 10168023

REV 12.13.24



Project: _____

Fixture Type: _____

Location: _____

Contact: _____

P560022-031

Gibbes Street

Incorporate a flawless lighting experience that fills your home with an understated elegance and rustic charm with this wall lantern. This farmhouse-inspired masterpiece cradles clear beveled glass panes just right for offering a warm, welcoming glow to your friends and family. A traditional lantern frame with a beautiful black finish houses the light bases in this timeless design.

- This farmhouse-inspired masterpiece cradles clear beveled glass panes just right for offering a warm, welcoming glow to your friends and family.
- A traditional lantern frame with a beautiful black finish houses the light bases in this timeless design.
- Incorporate a flawless lighting experience that fills your home with an understated elegance and rustic charm with this wall lantern.
- Ideal for any space: bedroom, entryway, porch, or patio.
- Perfect for any transitional or new traditional setting.
- Measures 7-inch width by 21-3/4-inch height.
- Uses two candelabra base bulbs that are sold separately (60w max: LED or incandescent).
- Able to be fully dimmable with dimmable bulbs.
- Includes installation instructions and mounting hardware.
- Progress Lighting products are designed for exceptional quality, reliability, and functionality.

Category: Outdoor


Finish: Black (Painted)

Construction: Cast Aluminum Construction

Glass/Shade: Clear Beveled glass Panel

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted	Prewired	Quantity: Two 60 W max: Candelabra Base or LED equivalent	CCSAus Wet Location Listed
Swivel mounting strap for outlet box included	6 inches of wire supplied	E12 base Porcelain sockets	1-year Limited Warranty

Canopy covers a standard 4" recessed outlet box. 4.5" W, 9" ht., 0.812" depth

Project Name:		Site:			
NEWPORT ORDERING GUIDE					
Cat#	Shade	# of Bars	Light Dist.	# of LEDs	Millamps
Newport 1 (NWP-1)	Shade 1 (S1)	2 Bar Mounting (2B)	Type 3 (T3)	16 (16L)	350 (35)
	Shade 2 (S2)	4 Bar Mounting (4B)	Type 5 (T5)	20 (20L) ¹	400 (40) ²
	Shade 3 (S3)			32 (32L) ¹	530 (53)
				48 (48L) ²	700 (7) ²
					1000 (1) ²
Kelvin	Volts	Mounting	Color	Controls Options	Options
Ambor 585-600M (AMBER) ¹ 11, 12	120-277 (UNV)	Post Top Over 3" OD (PT3) ⁴	Bronze Textured (BRZ)	Custom Controls Integration (CC) ³	Marine Grade Finish (MGF)
2700K, 70 CRI (27K)			White Textured (WHT)	Button Type Protocol (PC) ³	Decorative Band (DB)
2700K, 90 CRI (27K3) ³			Smooth White Gloss (SWT)		Clear Lens (CL) ⁴
3000K, 70 CRI (30K)			Silver Metallic (SIV)		Buy American Act (BAA) ¹⁰
3000K, 90 CRI (30K3) ³			Black Textured (BLK)		Trade Agreement Act (TAA) ¹⁰
3500K, 90 CRI (35K3) ³			Smooth Black Gloss (SBLG)		Built America Buy American (BABA) ¹⁰
4000K, 70 CRI (40K)			Graphite Textured (GPT)		
4000K, 90 CRI (40K3) ³			Grey Textured (GRY)		
5000K, 70 CRI (50K)			Green Textured (GRN)		
5000K, 90 CRI (50K3) ³			Hunter Green Textured (HGN)		
			Custom (CS)		
NOTES: 1. Type 3 Only 2. 350mA Max 3. Consult Factory for Lead Time. Consult Factory for 90 CRI Requests. 4. Consult Factory for other provisions. 5. Universal Voltage 120-277 6. Clear Lens utilizes (DB) Decorative Band option 7. 16L Only 8. Please contact Factory for Custom Control Integration requests (ni Light, NX, WaveLux, Crestron, DMX/RDM, Synapse, Casambi, Ball II, On-Off, or other control systems) 9. Turtle Safe 10. Consult Factory for all BAA/TAA/BABA requests 11. Consult Factory for Lead Time 12. Not available above 3000mA					
		701 Kingshill Place, Carson, CA 90746 Call Us Today (310) 341-2037		nlsighting.com	

C-Series LED

16221-16222

C-Series LED

120V-277V LED Small Flood, 12W & 23W

Select Models

APPLICATIONS

Kichler's 120V-277V LED flood lighting fixtures are designed for outdoor lighting applications requiring uniform light sources, with long life, and little maintenance requirements.

CONSTRUCTION

Die-cast aluminum construction with durable polyester powder coating. Vandal resistant hardware, reinforced knuckle design, a water draining front end with an integrated cowl.

ELECTRICAL

ETL listed to UL and CSA Standards for 120V-277 VAC (50/60 Hz), and suitable for wet locations. Integrated surge protection (4kV) comes standard.

OPTICS

Utilizes a single LED chip-on-board light source that provides for center-to-edge uniformity and enhances beam control. NEMA 6 x 5 wide flood. Three-step binning for tight color consistency.

LISTINGS

ETL wet label listed to UL and CSA Standards. IP66 rated. FCC compliant.

ORDERING MATRIX (Model # +Finish & CCT Codes) & LUMEN INFORMATION

The standard model is the Knuckle Mount Fixture. For Slip Fit or Trunnion, add SL or TR respectively.

Model #	Finish	CCT (30 / 40)	Mount	Wattage	CRI	Lumen	Lm/W	L70 (hrs)
*16221	AZT or BKT	3000K	Knuckle	12.6	80 (+)	1119	89	60,000
*16221	AZT or BKT	4000K	Knuckle	12.0	80 (+)	1210	100	60,000
16222	AZT or BKT	3000K	Knuckle	23.8	80 (+)	2049	86	60,000
16222	AZT or BKT	4000K	Knuckle	23.4	80 (+)	2082	89	60,000

ADDITIONAL MOUNTING OPTIONS

Slip-Fit Mount

Trunnion Mount

Example: 16221BKT40 is model 16221 in Textured Black, 4000K (to then change from knuckle to Slip Mount, add SL after 40)
Each model is available with a finish in BKT - Textured Black or AZT - Textured Architectural Bronze

*DLC Qualified Products. For the most current listing, visit www.designlights.org

KICHLER

120V-277V LED Small Flood, 12W & 23W

DIMENSIONS

PHOTOMETRIC DIAGRAMS

16221 Small Flood

16221BKT30 shown (1000 Lumens)

INCLUDED ACCESSORIES

Three (3) King Innovation Gel-Filled twist-on wire connectors

ACCESSORIES

Ordered & shipped separately (for knuckle only)

15645 AZT, BKT - 6" Stem	Corrosion resistant aluminum alloy with baked thermoset powder coating.
15656 AZT, BKT - 12" Stem	
15657 AZT, BKT - 18" Stem	
15658 AZT, BKT - 24" Stem	

15276 BKT - Power Post: A Fast, One-Step Connector

Made of Impact / Corrosion Resistant PVC
2.25" Inside Diameter to Accommodate Conduits of Different Sizes
Accepts .50 NPSM Thread
Designed For 120V-277V Line Voltage Landscape Lighting. Eliminating Need For Above or Below Ground Boxes. Built-in Stabilizer Removes Need For Concrete

15601 AZT, BKT - Cast Aluminum Surface Mounting Flange with Bronze or Black Finish, Neoprene Gasket For Watertight Seal

15609 AZT, BKT - Junction Box Mounting Bracket
Corrosion Resistant Cast Aluminum Alloy with Baked Thermoset Bronze or Black Powder Coat Finish

16222 Small Flood

16222BKT30 shown (2000 Lumens)

KICHLER



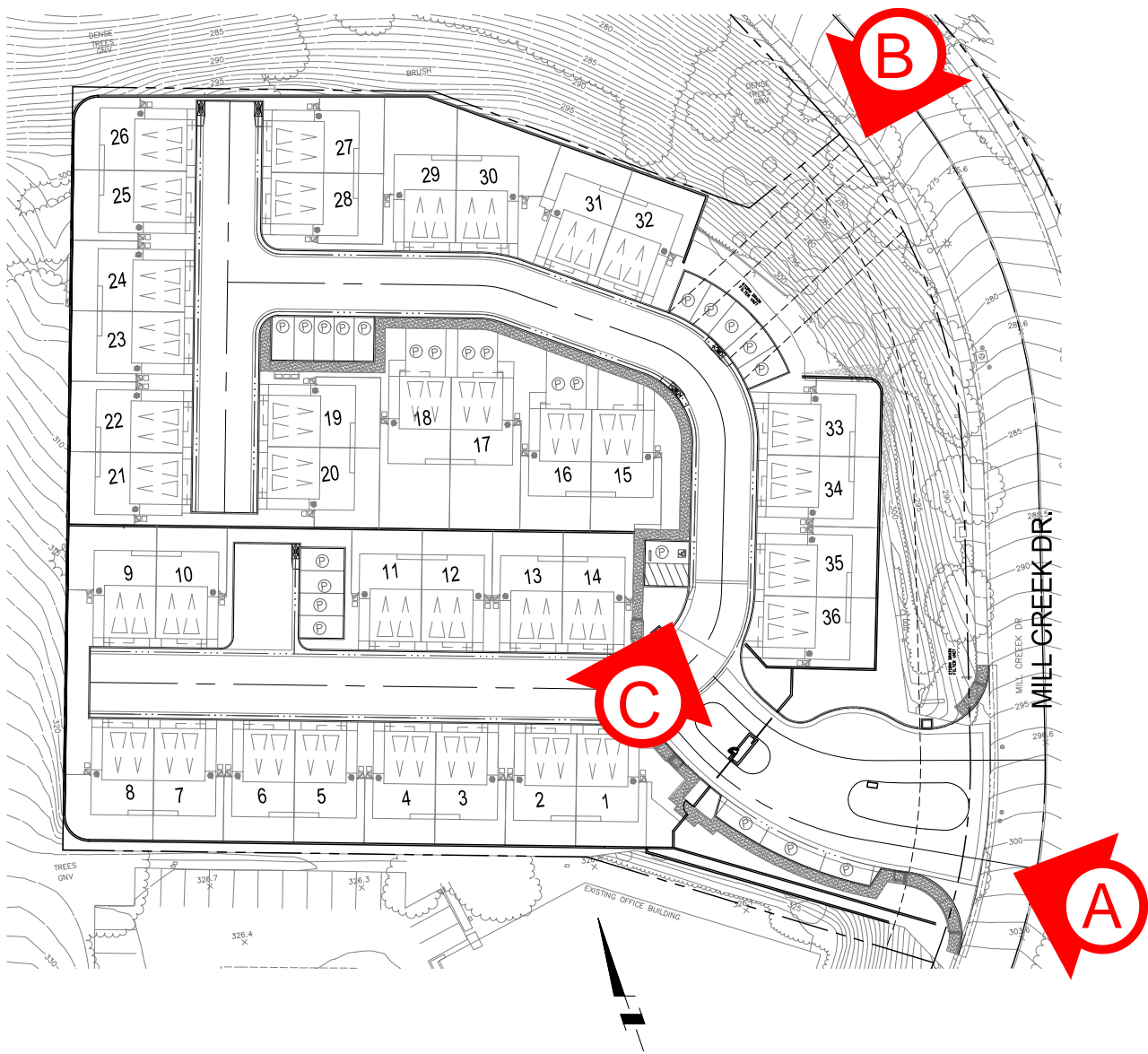
VIEW A - PROJECT ENTRY



VIEW C - PRIVATE WAY



VIEW B - MILL CREEK DRIVE



COLOR RENDERINGS



VIEW A1 - PROJECT ENTRY EXISTING



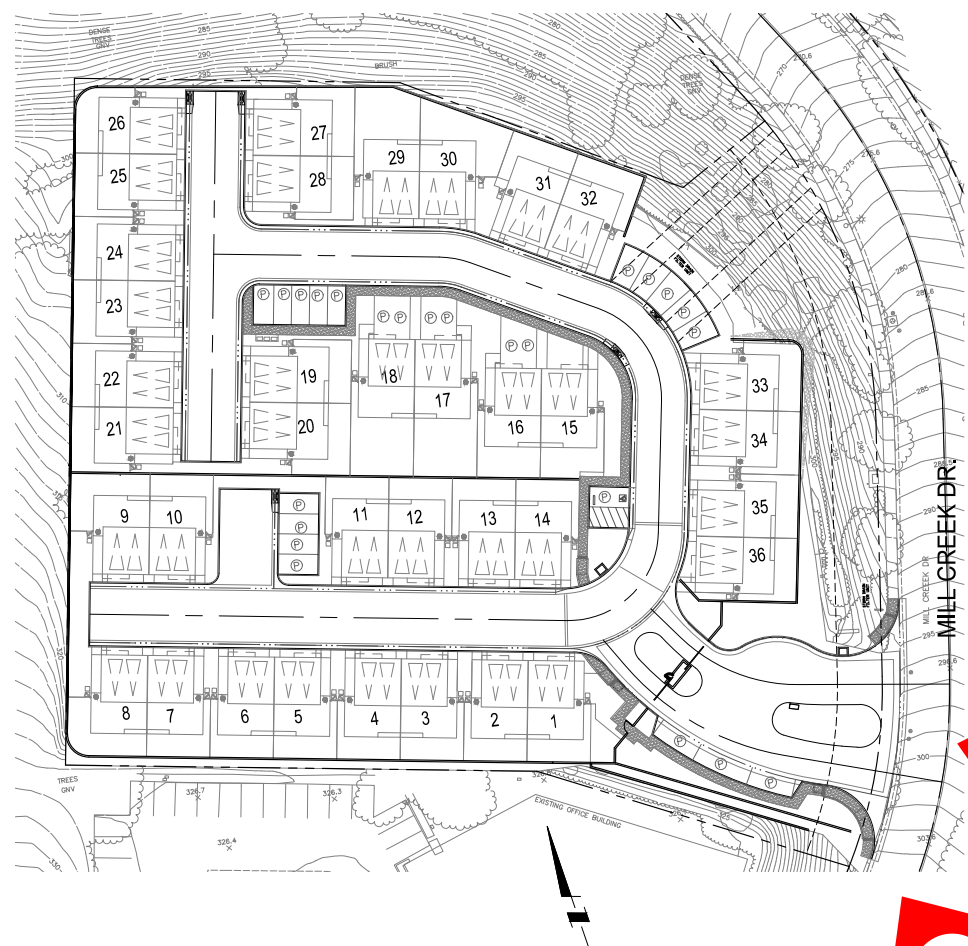
VIEW A1 - PROJECT ENTRY PROPOSED



VIEW A4 - PROJECT ENTRY EXISTING



VIEW A4 - PROJECT ENTRY PROPOSED



COLOR RENDERINGS (EXISTING AND PROPOSED)



VIEW B2 - PROJECT FRONTAGE EXISTING



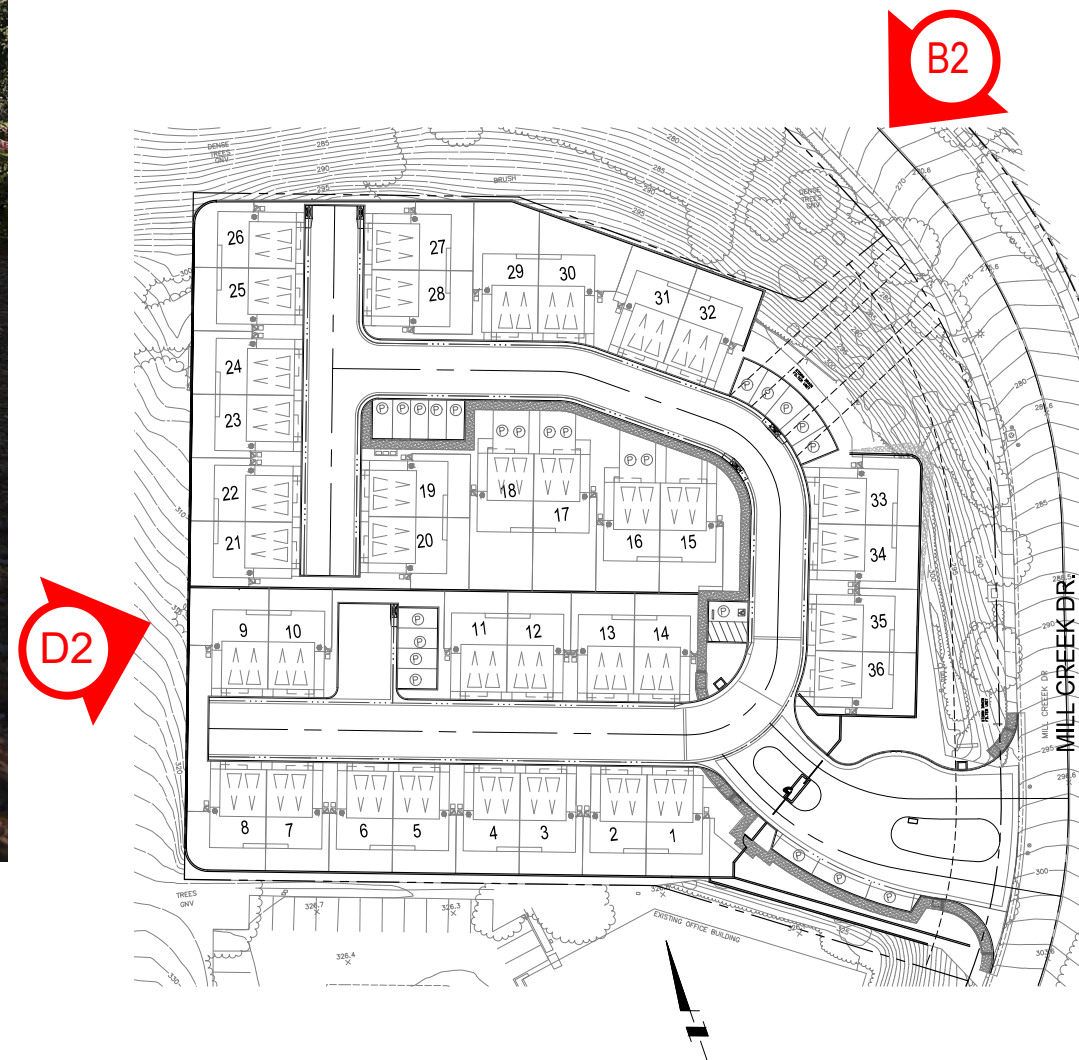
VIEW B2 - PROJECT FRONTAGE PROPOSED



VIEW D2 - PROJECT SIDE EXISTING

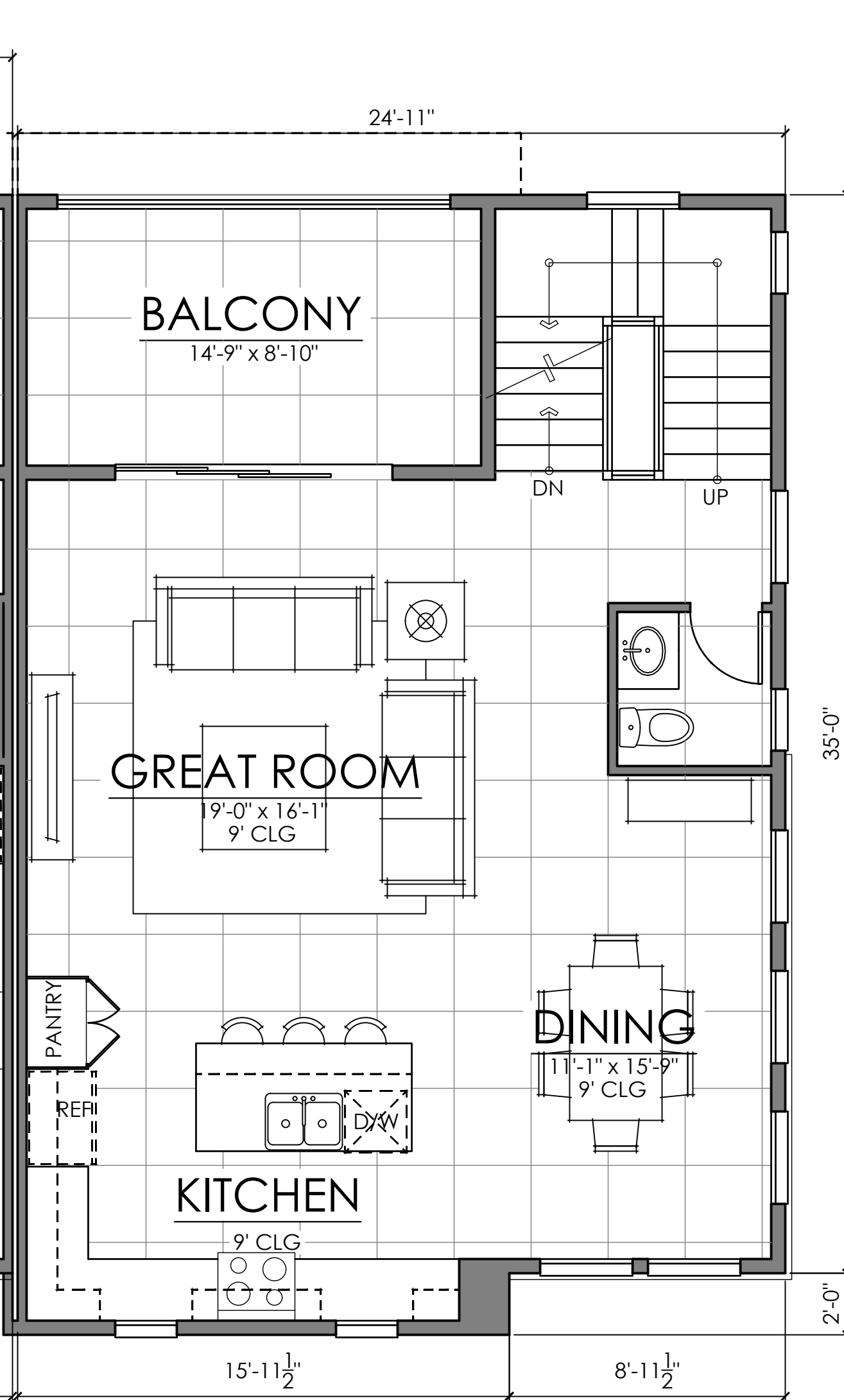


VIEW D2 - PROJECT SIDE PROPOSED





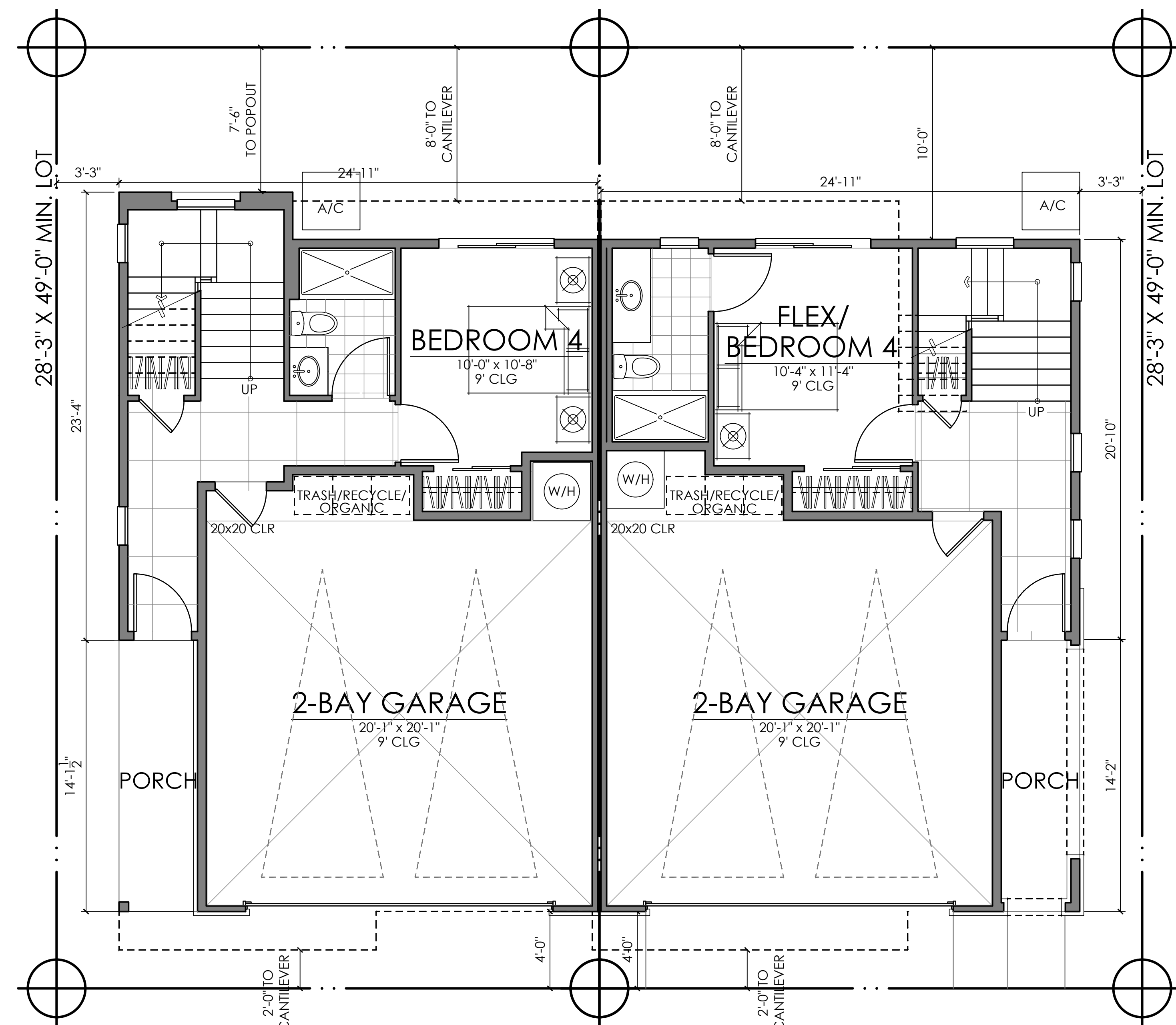
PLAN TWO



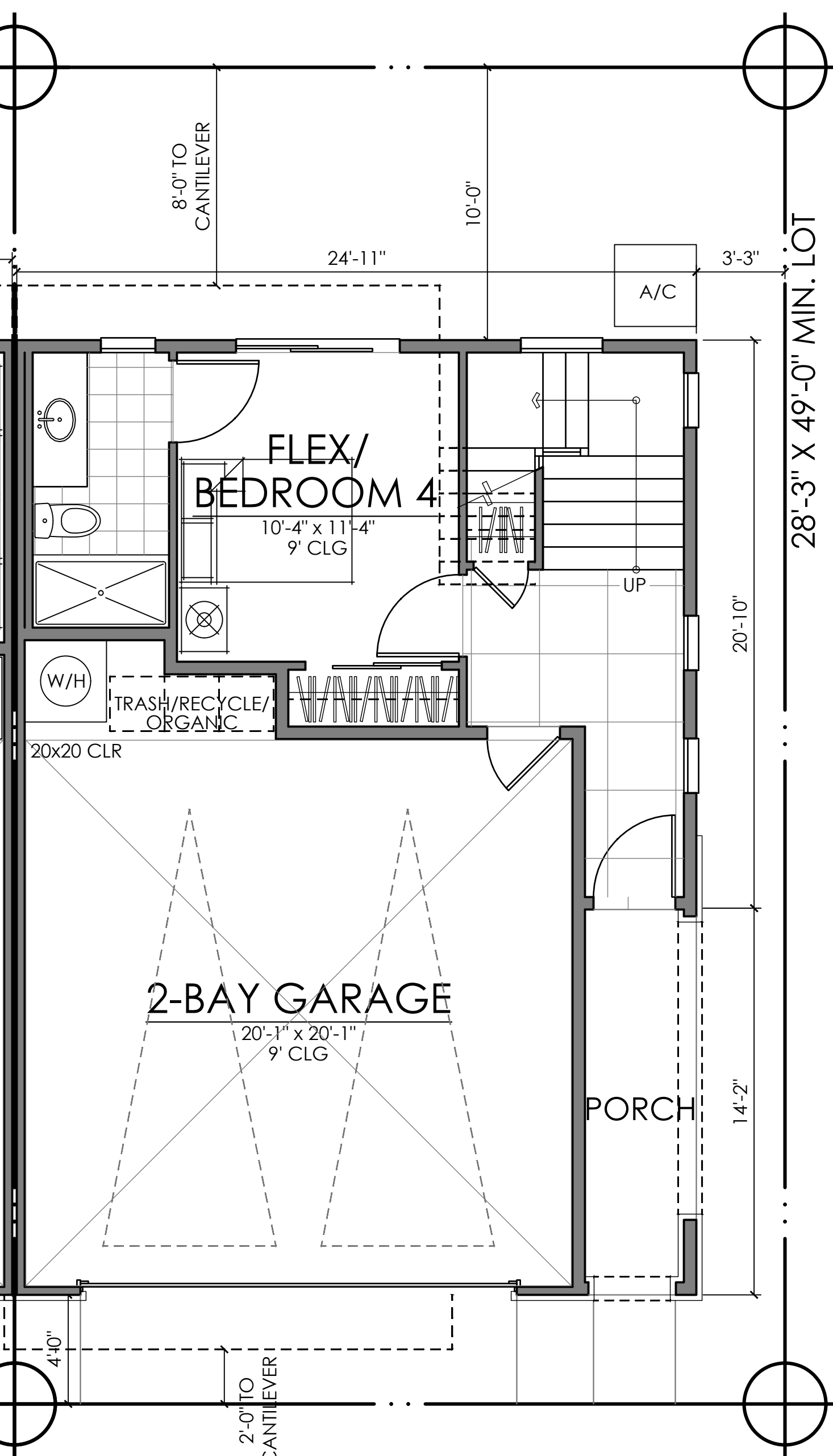
PLAN ONE

PLAN TWO

LOWER LEVEL	378 SQ. FT.
MAIN LEVEL	776 SQ. FT.
UPPER LEVEL	879 SQ. FT.
TOTAL LIVING	2033 SQ. FT.
GARAGE	450 SQ. FT.



PLAN TWO



PLAN ONE

PLAN ONE

LOWER LEVEL	363 SQ. FT.
MAIN LEVEL	770 SQ. FT.
UPPER LEVEL	858 SQ. FT.
TOTAL LIVING	1991 SQ. FT.
GARAGE	446 SQ. FT.

DUETS

23161 MILL CREEK DRIVE | TOLL BROTHERS
LAGUNA HILLS, CALIFORNIA

03.12.25

TOLL-2407

SCALE = $\frac{1}{4}$ " = 1'-0"



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PLAN TWO

PLAN ONE

PLAN TWO

LOWER LEVEL	378 SQ. FT.
MAIN LEVEL	776 SQ. FT.
UPPER LEVEL	879 SQ. FT.
TOTAL LIVING	2033 SQ. FT.
GARAGE	450 SQ.FT.

PLAN ONE

LOWER LEVEL	363 SQ. FT.
MAIN LEVEL	770 SQ. FT.
UPPER LEVEL	858 SQ. FT.
TOTAL LIVING	1991 SQ. FT.
GARAGE	446 SQ.FT.

DUETS

23161 MILL CREEK DRIVE | TOLL BROTHERS

LAGUNA HILLS, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS
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03.12.25

TOLL-2407

SCALE = $\frac{1}{4}" = 1'-0"$



- MATERIAL NOTES:
- 1. 'S' TILE ROOF
 - 2. STUCCO BODY
 - 3. STUCCO OVER FOAM WINDOW TRIM
 - 4. DECORATIVE CORBELS
 - 5. CULTURED STONE VENEER
 - 6. COACH LIGHT & ADDRESS



03.12.25

DUETS ELEVATIONS

23161 MILL CREEK DRIVE | TOLL BROTHERS

LAGUNA HILLS, CALIFORNIA

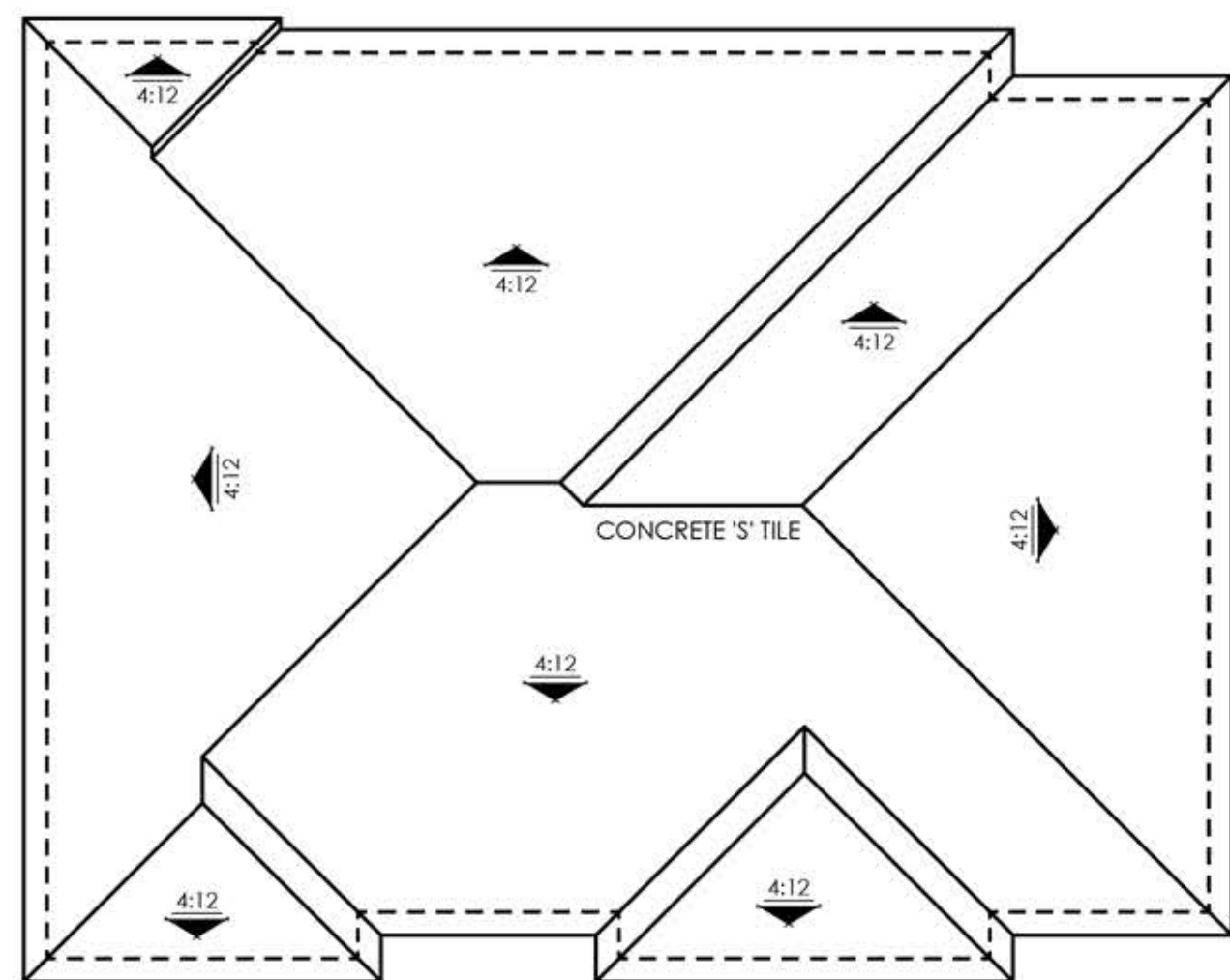
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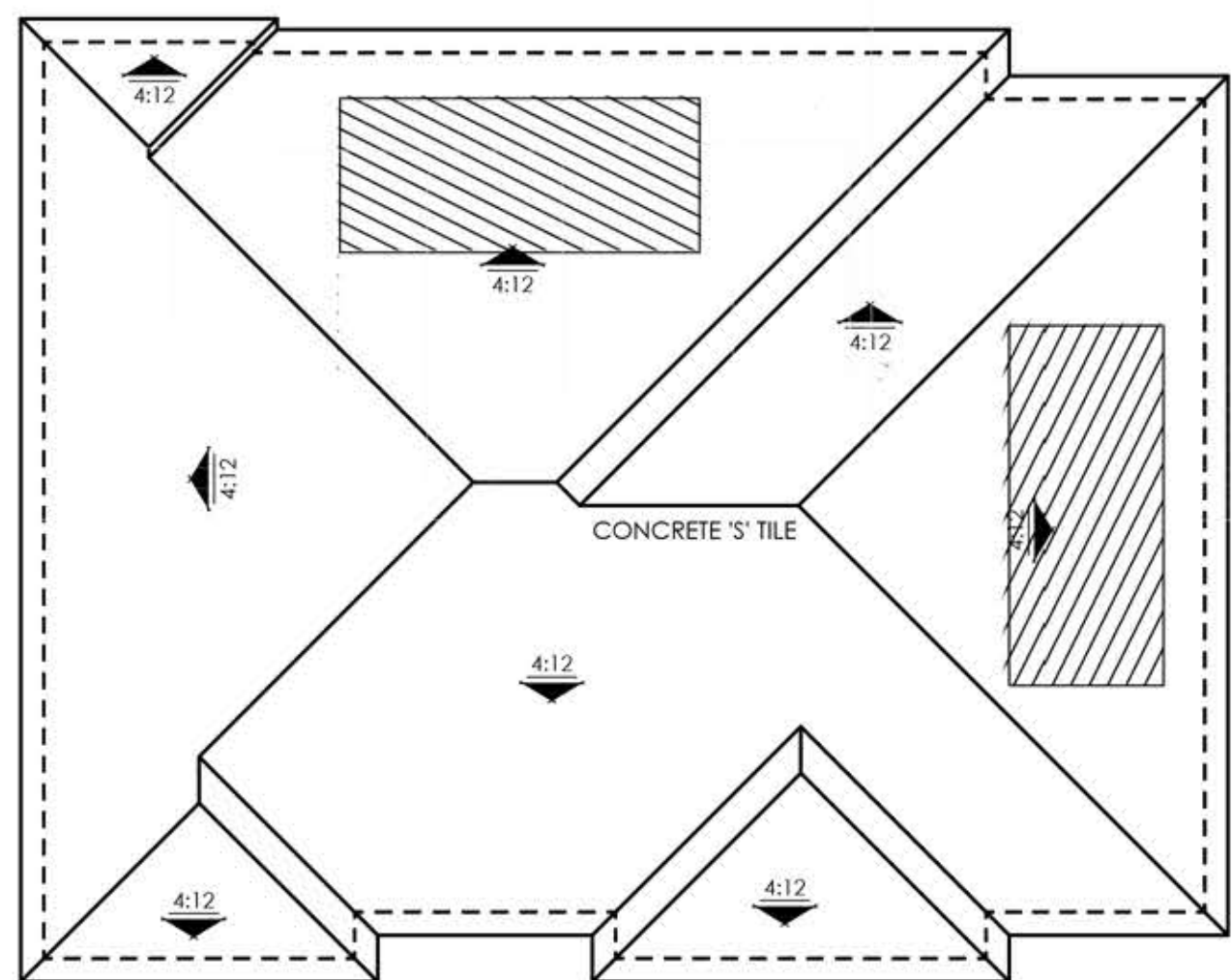
SCALE = 1/4" = 1'-0"

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colorado // 731 southpark dr. suite B
littleton, co 80120 / 303 683.7231
california // 2943 pullman st. suite A
santa ana, ca 92705 / 949 553.8919



ROOF PLAN SCALE: 1/8" = 1'-0"



ROOF PLAN WITH SOLAR SCALE: 1/8" = 1'-0"



LEFT ELEVATION SCALE: 1/4" = 1'-0"



RIGHT ELEVATION SCALE: 1/4" = 1'-0"

03.12.25

DUETS ELEVATIONS
23161 MILL CREEK DRIVE | TOLL BROTHERS
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Solar Panel Assessment - 23161 Mill Creek

Home Size = ~ 2,000 sq. ft. – Home Electricity Consumption: 6,677 kWh/yr using NREL Data ➔

Title 24 Estimation: Photovoltaic Sizing 3.2 kW (8 panels) producing 5,300 kWh/yr yielding ~ 80% Offset
Systems installed on south & west roofs for T24 Compliance per CA Energy Comm.



RIGHT ELEVATION



REAR ELEVATION



Prepared by
Addison Marks
New Homes Sales Director Sunrun Corp.



Solar Modules to be Installed

Q.PEAK DUO BLK
ML-G10+ SERIES



395-415 Wp | 132 Cells
21.1% Maximum Module Efficiency

MODEL: Q.PEAK DUO BLK ML-G10+
Q.PEAK DUO BLK ML-G10+

- Breaking the 21% efficiency barrier**
Q.PEAK DUO BLK 2.0 technology with semi-gloss anti-reflective coating achieves efficiency up to 21.1%.
- A reliable investment**
Includes 25-year product warranty and 25-year linear performance warranty.
- Enduring high performance**
Long-term and proven with Sun's Q.PEAK 2.0 technology, Anti-PID Technology, and Hot Spot Protection.
- Extreme weather rating**
High-tech aluminum alloy frame, certified for high winds (5400 Pf) and snow loads (4000 Lb).
- Innovative all-weather technology**
Optimal pitch, whatever the weather, with excellent low-light and high-temperature performance.
- The most thorough testing programme in the industry**
Q.PEAK is the first solar module manufacturer to pass the most comprehensive testing programme in the industry. The new "Quality Controlled PV" at the module plant verification includes "Full Inspection".

*Data based on data on file for Q.PEAK DUO BLK 2.0 technology. All other modules are based on data on file for Q.PEAK DUO BLK 2.0 technology. All other modules are based on data on file for Q.PEAK DUO BLK 2.0 technology.

Sample
INSET Installation
On Comp Pad

STRUCTURAL DETAILS								
ROOF INFORMATION			ATTACHMENT INFORMATION					
TYPE	HEIGHT	ROOF PITCHES (X:12)	DETAIL	MAX PORTRAIT (OC SPACING)	MAX PORTRAIT (OVERHANG)	MAX LANDSCAPE (OC SPACING)	MAX LANDSCAPE (OVERHANG)	CONFIGURATION
COMPOSITE SHINGLE	2-STORY	3,4,5,6	ULTRA RAIL, UMBRELLA L-FOOT, SEE DETAIL SNR-DC-00339, UR-40 RAIL	48"	L/3	48"	L/3	STAGGERED

1. TYPICAL MOUNT SPACING LAYOUT
NOT TO SCALE

DESIGN CRITERIA			
MODULES: HANWHA: Q.PEAK DUO BLK ML-G10+ 405W	MODULE CLAMPS: PORTRAIT: 9.84" - 17.72" LANDSCAPE: 0" - 9.84"	MAX DISTRIBUTED LOAD: 3 PSF	
MODULE DIMENSIONS: 74" x 41.1" x 1.26"	LAG SCREWS: 5/16" x 4 1/2" - 2 1/2" MIN. EMBEDMENT	SNOW LOAD: 0 PSF	
		WIND SPEED: 96 MPH 3-SEC GUST.	

GENERAL NOTES:
*THIS INFORMATION PRESENTED ON THIS PAGE IS MEANT TO ILLUSTRATE GENERAL SUNRUN MATERIALS AND INSTALLATION PRACTICES.
*THE INFORMATION HERE IS SUBJECT TO CHANGE UNIQUE PLANS WILL BE CREATED FOR EACH BUILDING PRIOR TO CONSTRUCTIONS FOR REVIEW.

THE ROOF FRAMING, RIPPERS ON THE ROOF DO NOT QUALIFY AS THE ROOF FRAMING WHERE SOLAR PV MOUNT EMBEDMENT IS CONCERNED. INSTALLERS SHALL VERIFY SCREW EMBEDMENT REQUIREMENTS ARE MET FOR ALL MOUNTS.

Color Scheme 1

STUCCO BODY	TRIM/PRECAST	EAVES	ROOF (S)	LIMESTONE
				
Agreeable Gray	Pure White	Gauntlet Gray	Tuscon Blend	Marquee24 Dove Tail
DOOR STAIN	DOOR STAIN	SHUTTERS	METAL	GARAGE
				
Therma Tru Driftwood	Jeld-Wen Ebony	Cityscape	Black Fox	Gauntlet Gray

Color Scheme 2

STUCCO BODY	TRIM/PRECAST	EAVES	ROOF (S)	LIMESTONE
				
Creamy	Relaxed Khaki	Foothills	Santa Cruz Blend	Marquee24 Dove Tail
DOOR STAIN	DOOR STAIN	SHUTTERS	METAL	GARAGE
				
Therma Tru New Earth	Jeld-Wen Mocha	Web Gray	Black Fox	Foothills

Color Scheme 3

STUCCO BODY	TRIM/PRECAST	EAVES	ROOF (S)	LIMESTONE
				
Loggia	City Loft	Virtual Taupe	Santa Cruz Blend	Marquee24 Sanderling
DOOR STAIN	DOOR STAIN	SHUTTERS	METAL	GARAGE
				
Therma Tru New Earth	Jeld-Wen Mocha	Grizzle Gray	Black Fox	Virtual Taupe

Color Scheme 4

STUCCO BODY	TRIM/PRECAST	EAVES	ROOF (S)	LIMESTONE
				
Canvas Tan	Barcelona Beige	Anonymous	Santa Cruz Blend	Marquee24 Sanderling
DOOR STAIN	DOOR STAIN	SHUTTERS	METAL	GARAGE
				
Therma Tru Driftwood	Jeld-Wen Ebony	Link Gray	Black Fox	Anonymous