



**LA PAZ VILLAGE SENIOR LIVING**

PROJECT DESCRIPTION:						
FOUR - STORY TYPE V A OVER ONE LEVEL TYPE I PODIUM PARKING, RESIDENTIAL UNITS, AMENITIES, PLUS ONE LEVEL TYPE I BASEMENT.						

ZONING SUMMARY						
PROJECT SITE INFORMATION	APN # SUBJECT SITE	ADDRESS	CURRENT ZONE	GENERAL PLAN AND USE	GROSS LOT AREA	NET LOT AREA
	620-211-17	25254 LA PAZ ROAD, LAGUNA HILLS, CA 92653	CC COMMUNITY COMMERCIAL	CC COMMUNITY COMMERCIAL	2,554 AC	2,438 AC

ENTITLEMENT REQUEST:						
180 INDEPENDENT SENIOR LIVING						

EXISTING STRUCTURE USE: RETAIL / SERVICE ORIENTED BUSINESS						
LOT AREA:	106,199 S.F.					
STRUCTURES TO BE DEMOLISHED:	28,780 S.F.					

PROJECT REQUIREMENTS		NOTES				
SETBACKS	RESIDENTIAL	THE PROPOSED PROJECT IS SUBMITTED UNDER THE HOUSING ACCOUNTABILITY ACT 65589.5 SUBDIVISION (D)				
NORTH	5'-0"					
STREET SIDE (EAST SIDE)	10'-0"					
INTERIOR SIDE (WEST SIDE)	5'-0"					
SOUTH	5'-0"					

PROJECT REQUIREMENTS		NOTES				
NUMBER OF RESIDENTIAL UNITS	180 DU	THE PROPOSED PROJECT IS SUBMITTED UNDER THE HOUSING ACCOUNTABILITY ACT 65589.5 SUBDIVISION (D)  DENSITY AND F.A.R. AREA MEASURED BASED ON THE LOT NET AREA				
DENSITY	74 DU / AC					
MAXIMUM LOT COVERAGE	65,902 S.F. 62%					
NUMBER OF STORIES	4 LEVEL RESIDENTIAL OVER 1 LEVEL PARKING					
BUILDING HEIGHT	61'-4"					
F.A.R.	1.97					
OPEN SPACE	29,682 S.F.					
LANDSCAPE AREA	13,500 S.F.					

OPEN SPACE CALCULATION	AT GRADE COURTYARD	COURTYARD OVER PODIUM	ROOF TERRACE	PRIVATE OPEN SPACE	TOTAL OPEN SPACE	
	3,000 S.F.	14,619 S.F.	650 S.F.	11,413 S.F.	29,682 S.F.	
THE PROPOSED PROJECT IS PRESENTED PURSUANT TO GOVERNMENT CODE SECTION 65589.5 SUBDIVISION (D); ANY DISCREPANCIES BETWEEN THE PLANS AND REQUIREMENTS OF THAT SECTION ARE INADVERTENT AND SHALL BE INTERPRETED IN A MANNER THAT ENSURES COMPLIANCE WITH SECTION 65589.5						
RESIDENTIAL BUILDING AREA	1ST LEVEL	2ND LEVEL	3RD LEVEL	4TH LEVEL	5TH LEVEL	TOTAL
	19,916 S.F.	48,673 S.F.	46,868 S.F.	46,868 S.F.	46,230 S.F.	208,555 S.F.

UNIT SUMMARY							
PLAN	DESCRIPTION	Q.	RATIO	GROSS AREA (SF)	TOTAL G.A. (SF)	PRIVATE DECK (SF)	TOTAL PRIVATE DECK (SF)
S1	STUDIO	13		390	5,070	-	-
S1 (BMR)	STUDIO	3		390	1,170	-	-
TOTAL STUDIO		16	9%		6,240	-	-
20% OF STUDIO ARE AFFORDABLE UNITS - TOTAL 3 STUDIO							
A1 (BMR)	1 BED / 1 BATH	1		519	519	-	-
A2	1 BED / 1 BATH	1		575	575	-	-
A3 (BMR)	1 BED / 1 BATH	11		726	7,986	60	660
A3	1 BED / 1 BATH	3		726	2,178	60	180
A4 (BMR)	1 BED / 1 BATH	3		796	2,388	48	144
A5	1 BED / 1 BATH	67		800	53,600	71	4,757
A5 (BMR)	1 BED / 1 BATH	4		800	3,200	71	284
A6	1 BED / 1 BATH	3		772	2,316	58	174
TOTAL 1 BEDROOM		93	52%		72,762		6,199
20% OF ONE BEDROOM ARE AFFORDABLE UNITS - TOTAL 19 ONE BEDROOM							
B1 (BMR)	2 BED / 2 BATH	14		888	12,432	60	840
B1	2 BED / 2 BATH	4		888	3,552	60	240
B2	2 BED / 2 BATH	53		1,040	55,120	78	4,134
TOTAL 2 BEDROOM		71	39%		65,784		4,584
20% OF TWO BEDROOM ARE AFFORDABLE UNITS-TOTAL 14 TWO BEDROOM							
TOTAL		180			150,106		11,173
20% OF TOTAL UNITS ARE AFFORDABLE - TOTAL 36 DU							

RESIDENTIAL PARKING	NUMBER OF DU	NUMBER OF CAR/DU	PROVIDED PARKING STALLS	NOTE:
STUDIO	13	1	13	THE PROPOSED PROJECT IS SUBMITTED UNDER THE HOUSING ACCOUNTABILITY ACT 65589.5 SUBDIVISION (D) RESIDENTS' PARKING INCLUDED 5 ACCESSIBLE STALLS 215 RESIDENTIAL STALLS X 2%=5 ACCESSIBLE STALLS, INCLUDING ONE ACCESSIBLE VAN PARKING 13 RESIDENTS' GUESTS PARKING INCLUDES 1 ACCESSIBLE VAN STALL 13X2%=1 EV RESIDENTS' PARKING AS FOLLOWS: 228 X 5%=12 EV CHARGER INCLUDED ONE HC VAN STALL UNASSIGNED 228 X 10%=23 EV CAPABLE 228 X 25%= 57 EV READY
STUDIO (BMR)	3	0	0	
1 BEDROOM	74	1	74	
1 BEDROOM (BMR)	19	0	0	
2 BEDROOM	57	2	114	
2 BEDROOM (BMR)	14	1	14	
TOTAL RESIDENTIAL			215	
GUEST		1 / 15 DU	13	
TOTAL RES. AND GUEST			228	
UNASSIGNED			27	

CODE	CBC 2022
SUSTAINABILITY	PROJECT WILL COMPLY WITH CAL GREEN
ACCESSIBILITY	PROJECT WILL COMPLY WITH CA BUILDING CODE CHAPTER 11A - NO PUBLIC FUNDING

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- 4 Parking Ground Level
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- 6 Exterior Ground Level
- 7 Exterior Ground Level
- 8 Exterior Ground Level Courtyard
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- 10 Exterior Level 2 Courtyard
- 11 Lighting Fixture Details
- 12 Lighting Fixture Details
- 13 Lighting Fixture Details

PROJECT TEAM

- APPLICANT: La Paz Village Investors, LLC.  
 ADDRESS: 1010 South El Camino Real, Suite 200  
 San Clemente, CA 92672
- CONTACT: Nick Buchanan  
 PHONE NUMBER: (949)441-7442  
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 ADDRESS: 680 Newport Center Drive, Suite 300  
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 EMAIL: ron@whainc.com
- CIVIL ENGINEER: C&V Consulting, INC.  
 ADDRESS: 9830 Irvine Center Drive  
 Irvine, CA 92618
- CONTACT: Ryan Bitner  
 PHONE NUMBER: (949)369-6141  
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- LANDSCAPE ARCHITECT: C2 Collaborative  
 ADDRESS: 100 Avenida Miramar  
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- CONTACT: Jack Haden  
 PHONE NUMBER: (949)366-6624  
 EMAIL: jhaden@c2collaborative.com



VICINITY MAP

A-01  
COVER SHEET

ARCHITECTS . PLANNERS . DESIGNERS

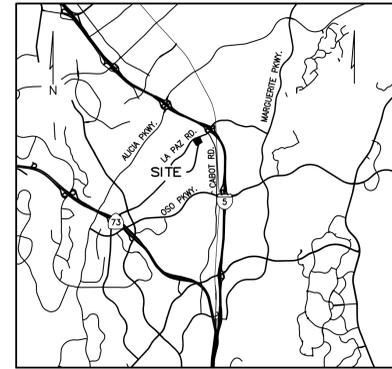


CONCEPTUAL DESIGN

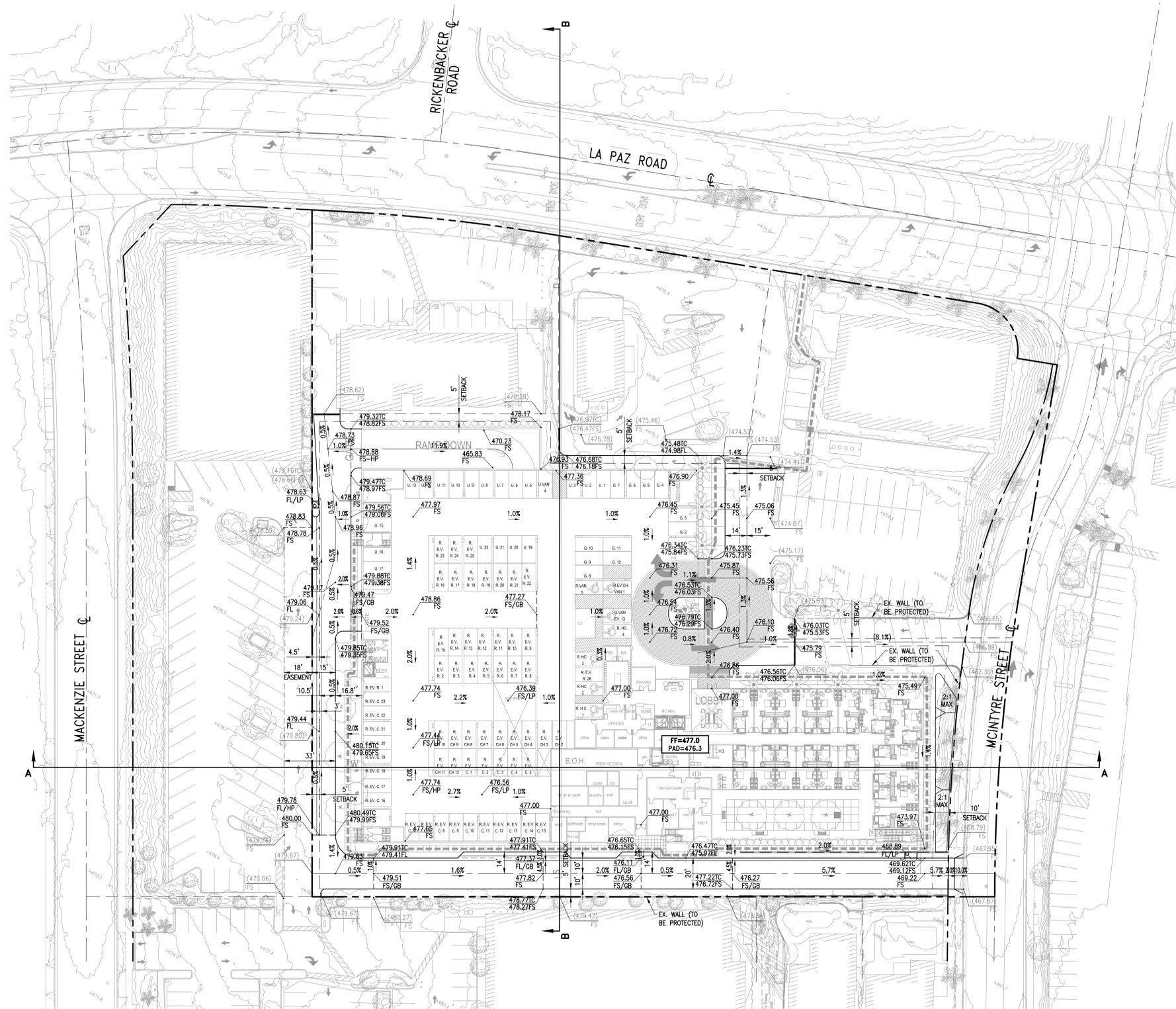


# CONCEPTUAL GRADING PLAN

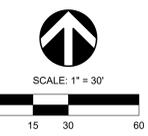
LA PAZ VILLAGE SENIOR LIVING,  
LAGUNA HILLS



VICINITY MAP  
NOT TO SCALE



- LEGEND:**
- CENTERLINE
  - - - EX. BOUNDARY
  - - - EASEMENT
  - - - EX. LOT LINE
  - - - ADA PATH OF TRAVEL



REVISIONS					
NO.	DATE	INITIAL	DESCRIPTION	APP	DATE

DEVELOPER :

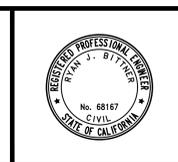
**CAPE POINT**  
DEVELOPMENT, LLC

CAPE POINT DEVELOPMENT, LLC  
1010 S. EL CAMINO REAL, SUITE 200  
SAN CLEMENTE, CA 92672  
PHONE (949) 447-7442

OWNER & DEVELOPER :

**C&V**  
CONSULTING, INC.  
CIVIL ENGINEERING  
LAND PLANNING & SURVEYING

9830 IRVINE CENTER DRIVE  
IRVINE, CALIFORNIA 92618  
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WWW.CVC-INC.NET



**LA PAZ VILLAGE SENIOR LIVING**  
25250-25260 LA PAZ ROAD  
CONCEPTUAL GRADING PLAN

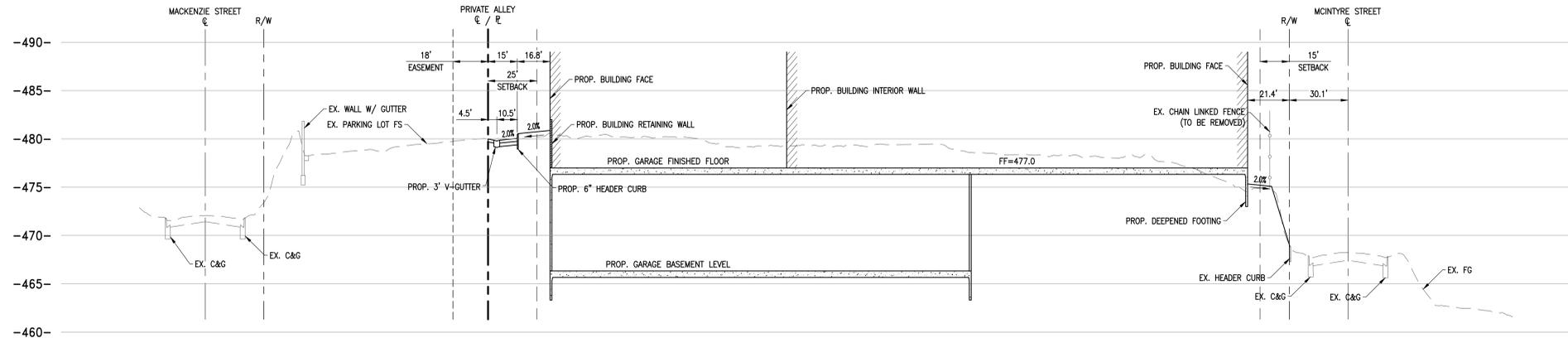
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SHEET 2 OF 4

SCALE: AS SHOWN    DRAWN BY: KL    CHECKED BY: JH

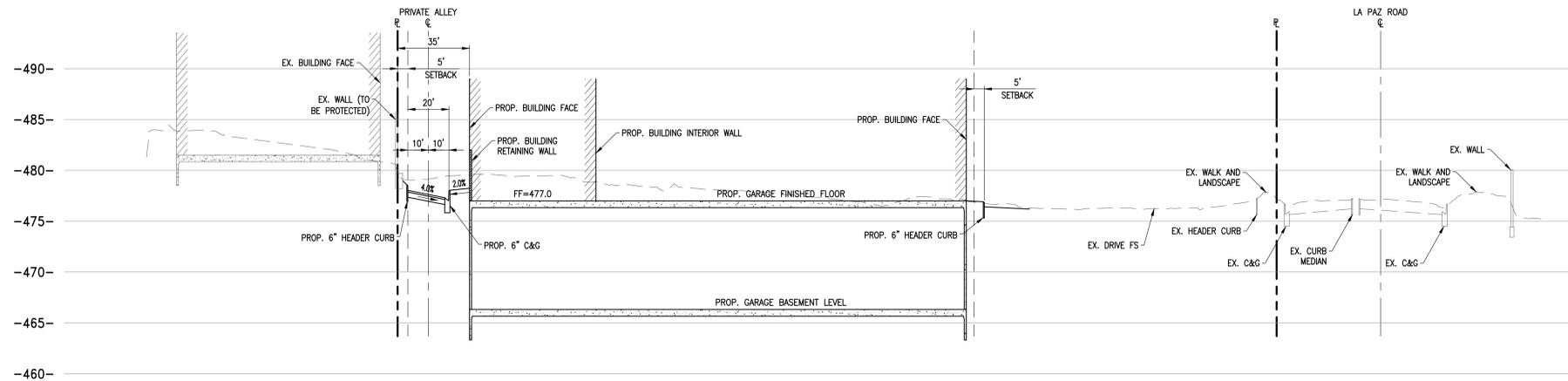
**CITY OF LAGUNA HILLS**

# SECTIONS

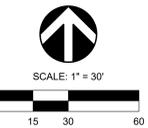
## LA PAZ VILLAGE SENIOR LIVING, LAGUNA HILLS



SECTION A-A  
EAST-WEST OF PROJECT SITE  
HOR: 1"=30'  
VERT: 1"=6'



SECTION B-B  
NORTH-SOUTH OF PROJECT SITE  
HOR: 1"=30'  
VERT: 1"=6'



DEVELOPER : REVISIONS				
NO.	DATE	INITIAL	DESCRIPTION	APP

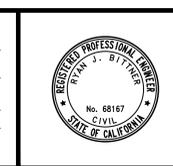
OWNER & DEVELOPER :

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SAN CLEMENTE, CA 92672  
PHONE (949) 447-7442

PREPARED BY :

**CONSULTING, INC.**  
CIVIL ENGINEERING  
LAND PLANNING & SURVEYING

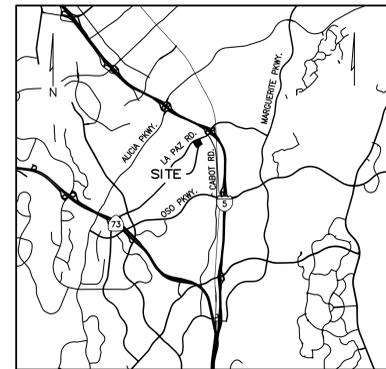
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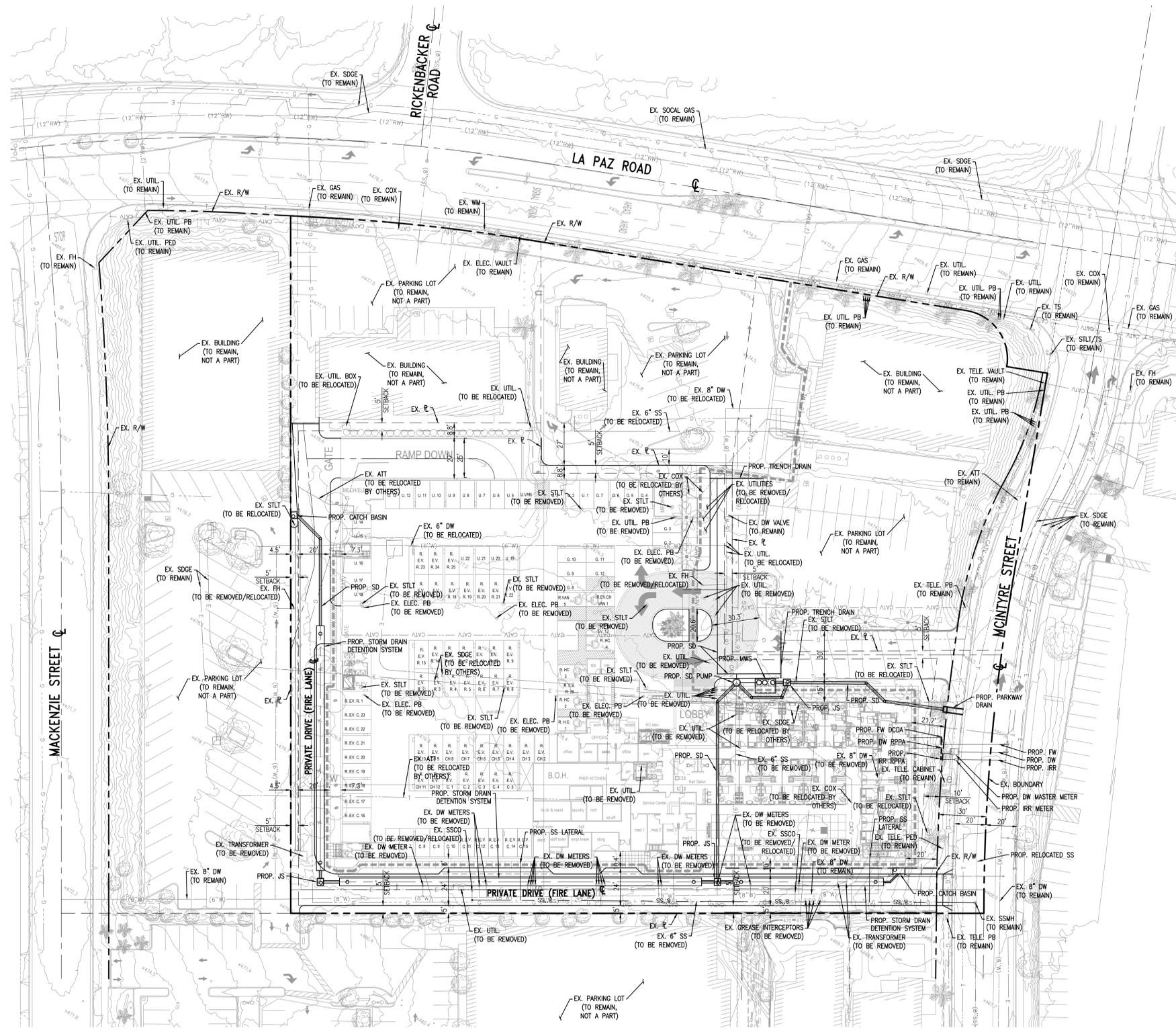
<b>LA PAZ VILLAGE SENIOR LIVING</b> 25250-25260 LA PAZ ROAD		DATE: 3/15/2024
<b>SECTIONS</b>		SHEET 3 OF 4
SCALE: AS SHOWN	DRAWN BY: KL	CHECKED BY: JH
<b>CITY OF LAGUNA HILLS</b>		

# CONCEPTUAL UTILITY PLAN

LA PAZ VILLAGE SENIOR LIVING,  
LAGUNA HILLS



VICINITY MAP  
NOT TO SCALE

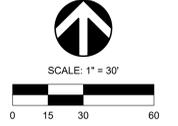


**LEGEND:**

- CENTERLINE
- - - EX. BOUNDARY
- - - EASEMENT
- - - EX. LOT LINE
- - - EX. SANITARY SEWER
- - - EX. DOMESTIC WATER
- - - EX. SAN DIEGO GAS & ELECTRIC
- - - EX. COX INTERNET/TELEPHONE
- - - PROP. DOMESTIC WATER
- - - PROP. DOMESTIC WATER RPPA
- - - PROP. FIRE WATER
- - - PROP. FIRE WATER DCCA
- - - PROP. SANITARY SEWER
- - - GATE VALVE
- - - PROP. STORM DRAIN
- - - PROP. MWS
- - - PROP. JUNCTION STRUCTURE
- - - PROP. SD PUMP

**ABBREVIATIONS:**

- CL CENTERLINE
- DCCA DOUBLE-CHECK DETECTOR ASSEMBLY
- DW DOMESTIC WATER
- ELEC. ELECTRIC
- IRR IRRIGATION
- JS JUNCTION STRUCTURE
- MWS MODULAR METLAND'S SYSTEM
- PB PULLBOX
- PED PEDESTAL
- PL PROPERTY LINE
- POC POINT OF CONNECTION
- RPPA REDUCED PRESSURE PRINCIPLE ASSEMBLY
- R/W RIGHT-OF-WAY
- SD STORM DRAIN
- SDGE SAN DIEGO GAS & ELECTRIC
- STLT STREETLIGHT
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- TS TRAFFIC SIGNAL
- UTIL UTILITY
- WM WATER METER



DEVELOPER : REVISIONS					
NO.	DATE	INITIAL	DESCRIPTION	APP	DATE

OWNER & DEVELOPER :

**CAPE POINT**  
DEVELOPMENT, LLC

CAPE POINT DEVELOPMENT, LLC  
1010 S. EL CAMINO REAL, SUITE 200  
SAN Geronimo, CA 92672  
PHONE (949) 447-7442

PREPARED BY :

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LA PAZ VILLAGE SENIOR LIVING  
25250-25260 LA PAZ ROAD  
CONCEPTUAL UTILITY PLAN

DATE: 3/15/2024  
SHEET 4 OF 4

SCALE: AS SHOWN    DRAWN BY: IV    CHECKED BY: JH

**CITY OF LAGUNA HILLS**

# PARKING/CIRCULATION EXHIBIT

LA PAZ VILLAGE SENIOR LIVING,  
LAGUNA HILLS

**VESTING OWNER:**  
LA PAZ VILLAGE INVESTORS LLC, A DELAWARE LIMITED LIABILITY COMPANY

**DEVELOPER:**  
CAPE POINT DEVELOPMENT, LLC  
1010 S. EL CAMINO REAL, SUITE 200  
SAN CLEMENTE, CA 92672  
T (949) 441-7442  
NICK BUCHANAN

**SITE ADDRESS:**  
25250-25260 LA PAZ ROAD  
LAGUNA HILLS, CA 92653

**CIVIL ENGINEER:**  
C&V CONSULTING, INC.  
9830 IRVINE CENTER DRIVE  
IRVINE, CA 92618  
T (949) 916-3800  
RYAN BITTNER, P.E., PRINCIPAL

**ARCHITECT:**  
WILLIAM HEZMALHALCH ARCHITECTURE, INC.  
800 NEWPORT CENTER DRIVE, SUITE 300  
NEWPORT BEACH, CA 92660  
T (714) 250-0607  
RON NESTOR, SENIOR PRINCIPAL

**LEGEND:**

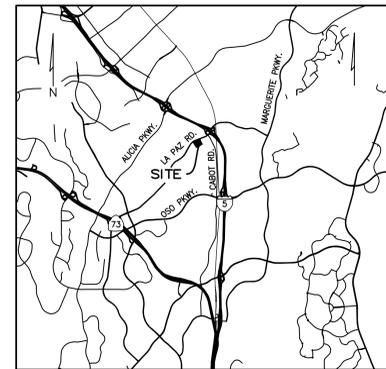
- CENTERLINE
- - - EX. BOUNDARY
- EX. R/W
- - - ADA PATH OF TRAVEL
- ▨ PROP. ACCESS LANE

**PROJECT SUMMARY:**

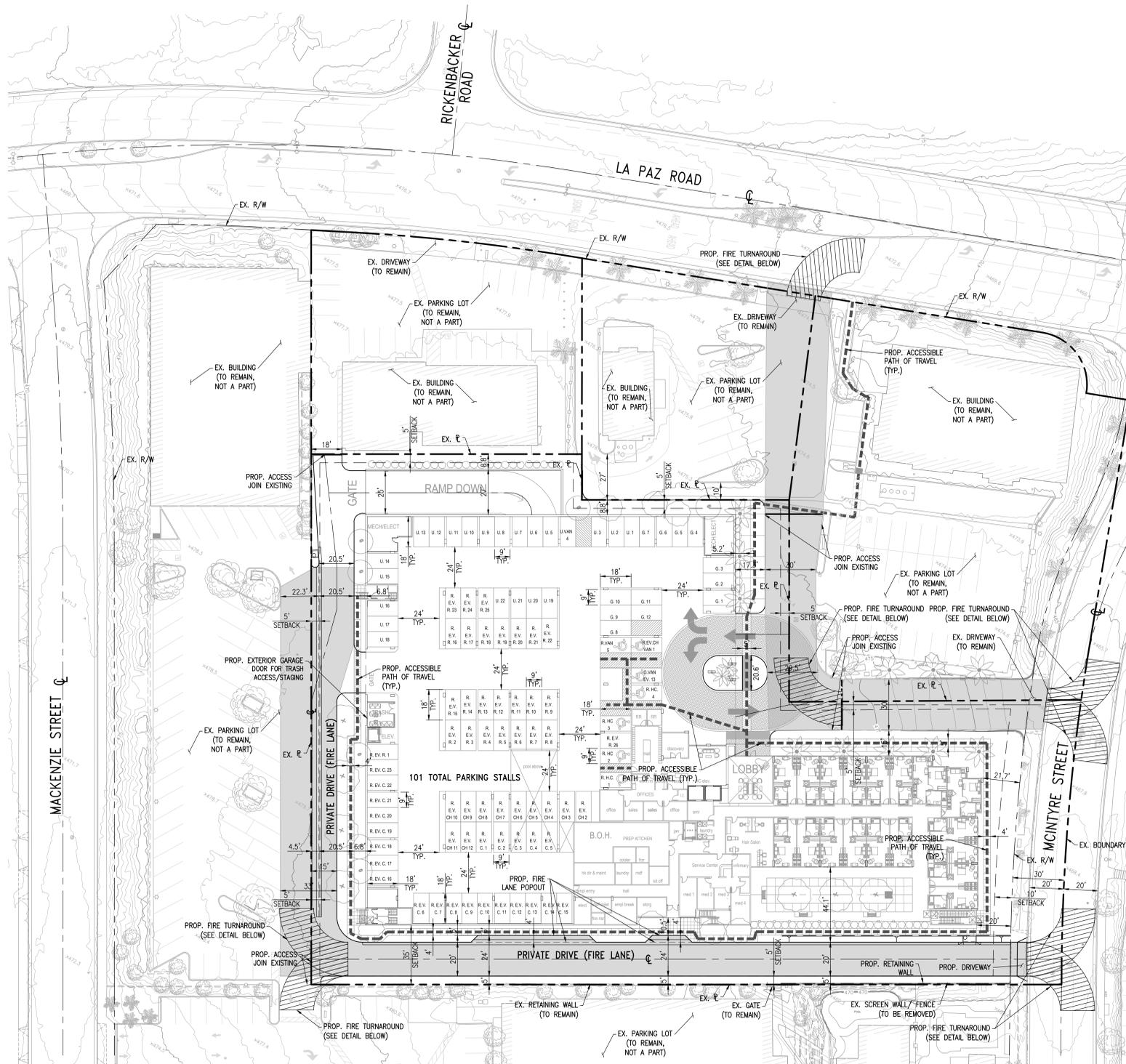
SITE AREA:  
GROSS: 2.554 AC  
NET: 2.438 AC  
DENSITY: 74 DU/AC  
F.A.R.: 1.97  
UNITS: 180 SENIOR LIVING UNITS  
7-STUDIO  
9-STUDIO BMR  
1-1BDR (A1)  
1-A1BDR (A2)  
10-1BDR (A3)  
4-1BDR BMR (A3)  
3-1BDR (A4)  
66-1BDR (A5)  
5-1BDR BMR (A5)  
3-1BDR (A6)  
18-2BDR BMR (B1)  
53-2BDR (B2)

390 SF  
390 SF  
519 SF  
575 SF  
726 SF  
726 SF  
796 SF  
800 SF  
800 SF  
772 SF  
888 SF  
1,040 SF  
TOTAL: 150,106 SF

PARKING:  
REQUIRED: 180 UNITS AT 1.2 (INCLUDING GUESTS) = 215 SPACES  
RESIDENTIAL: 215 SPACES  
GUEST: 13 SPACES  
UNASSIGNED: 27 SPACES  
TOTAL PROVIDED: 255 SPACES  
OPEN SPACE:  
TOTAL OPEN SPACE: 29,682 SF  
BUILDINGS:  
4-LEVEL RESIDENTIAL OVER 1 LEVEL PARKING 1  
BUILDING HEIGHT: 61'-4"  
TOTAL BUILDING AREA: 208,55 SF  
SETBACKS:  
FRONT: 10' (MCINTYRE STREET)  
INTERIOR STREET: 5'  
INTERIOR SIDE: 5'  
REAR: 5'



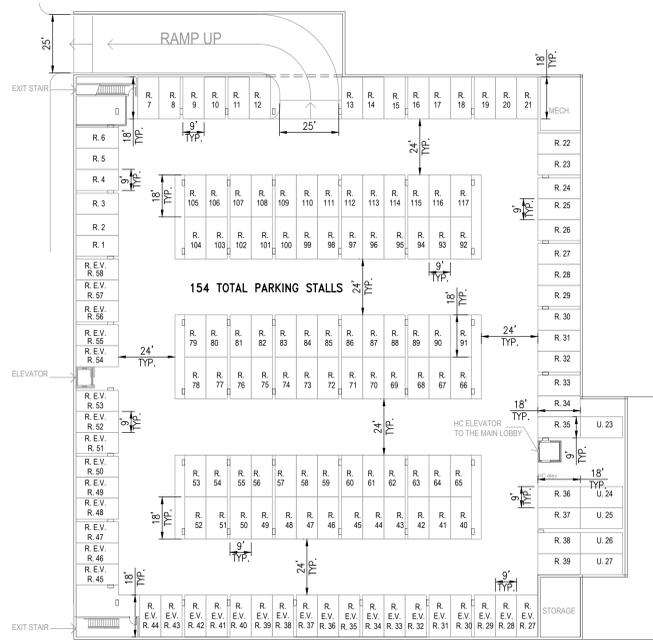
VICINITY MAP  
NOT TO SCALE



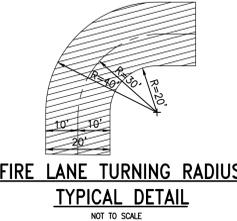
LEVEL 1 PARKING

ABBREVIATIONS	DEFINITION	LEVEL 1	BASEMENT	TOTAL	NOTES
R.	RESIDENTIAL	5	117	122	THE PROPOSED PROJECT IS SUBMITTED UNDER THE HOUSING ACCOUNTABILITY ACT 65589.5 SUBDIVISION (D) RESIDENTS' PARKING INCLUDED 5 ACCESSIBLE STALLS 215 RESIDENTIAL STALLS X 2%-5 ACCESSIBLE STALLS, INCLUDING ONE ACCESSIBLE VAN PARKING 13 RESIDENTS' GUESTS PARKING INCLUDES 1 ACCESSIBLE VAN STALL 13 X 24=1 EV RESIDENTS' PARKING AS FOLLOWS: 228 X 5% = 12 EV CHARGER INCLUDED ONE HC VAN STALL UNASSIGNED 228 X 10% = 23 EV CAPABLE 228 X 25% = 57 EV READY
R.T.	RESIDENTIAL TANDEM	0	0	0	
G.	GUEST	13	0	13	
U.	UNASSIGNED	22	5	27	
R.E.V.C.H.	RESIDENTIAL E.V. CHARGER	12	0	12	
R.E.V.C.	RESIDENTIAL E.V. CAPABLE	23	0	23	
R.E.V.R.	RESIDENTIAL E.V. READY	26	32	58	
TOTAL PARKING COUNT =		101	154	255	

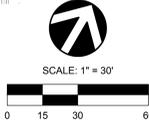
**PARKING SUMMARY**



BASEMENT PARKING



FIRE LANE TURNING RADIUS  
TYPICAL DETAIL  
NOT TO SCALE



REVISIONS				
NO.	DATE	INITIAL	DESCRIPTION	APP

DEVELOPER :  
**CAPE POINT**  
DEVELOPMENT, LLC  
1010 S. EL CAMINO REAL, SUITE 200  
SAN CLEMENTE, CA 92672  
PHONE (949) 447-7442

OWNER & DEVELOPER :  
**CAPE POINT**  
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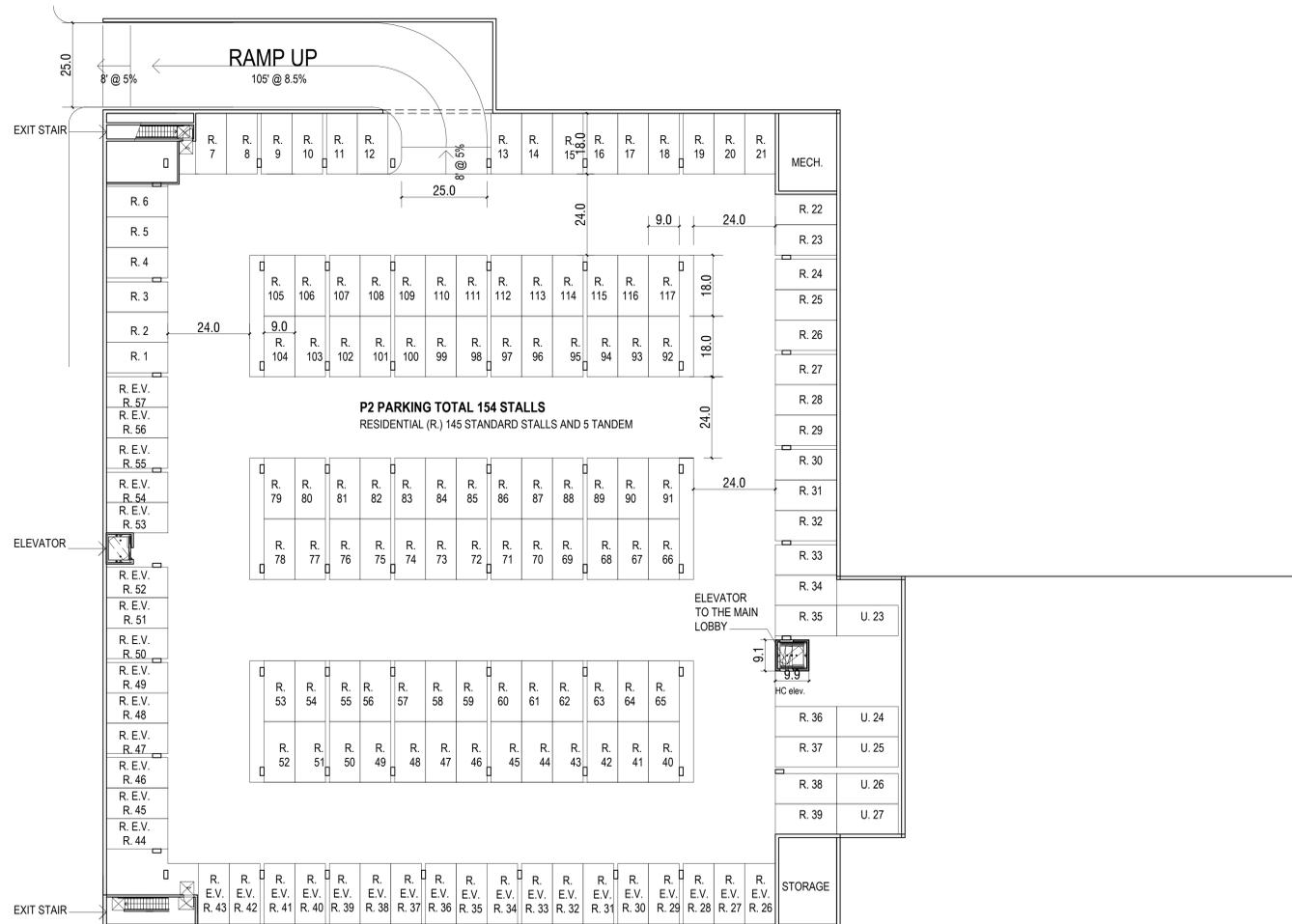


**LA PAZ VILLAGE SENIOR LIVING**  
25250-25260 LA PAZ ROAD  
**PARKING/CIRCULATION EXHIBIT**

DATE: 3/14/2024  
SHEET 1 OF 1

SCALE: AS SHOWN  
DRAWN BY: JA  
CHECKED BY: JH

**CITY OF LAGUNA HILLS**



**Abbreviations:**  
 R. Residential  
 R.T. Residential Tandem  
 G. Guest  
 U. Unassigned  
 R.E.V. CH Residential E.V. charger  
 R.E.V. C. Residential E.V. capable  
 R.E.V. R. Residential E.V. ready

- Notes:**
1. Site plan is for conceptual purposes only.
  2. Site plan must be reviewed by planning, building, and fire departments for code compliance.
  3. Base information per civil engineer.
  4. Civil engineer to verify all setbacks and grading information.
  5. Building Footprints might change due to the final design elevation style.
  6. Open space areas is subject to change due to the balcony design of the elevation.
  7. Building setbacks are measured from property lines to building foundation lines.

THE INTERIOR COLOR AND SIGNAGE TO COMPLY WITH LHMC  
 BLIND CORNER WILL BE PROVIDED WITH VIEWING MIRRORS TO COMPLY WITH LHMC

**LPVI LLC**

**LA PAZ VILLAGE SENIOR LIVING**

LAGUNA HILLS, CA

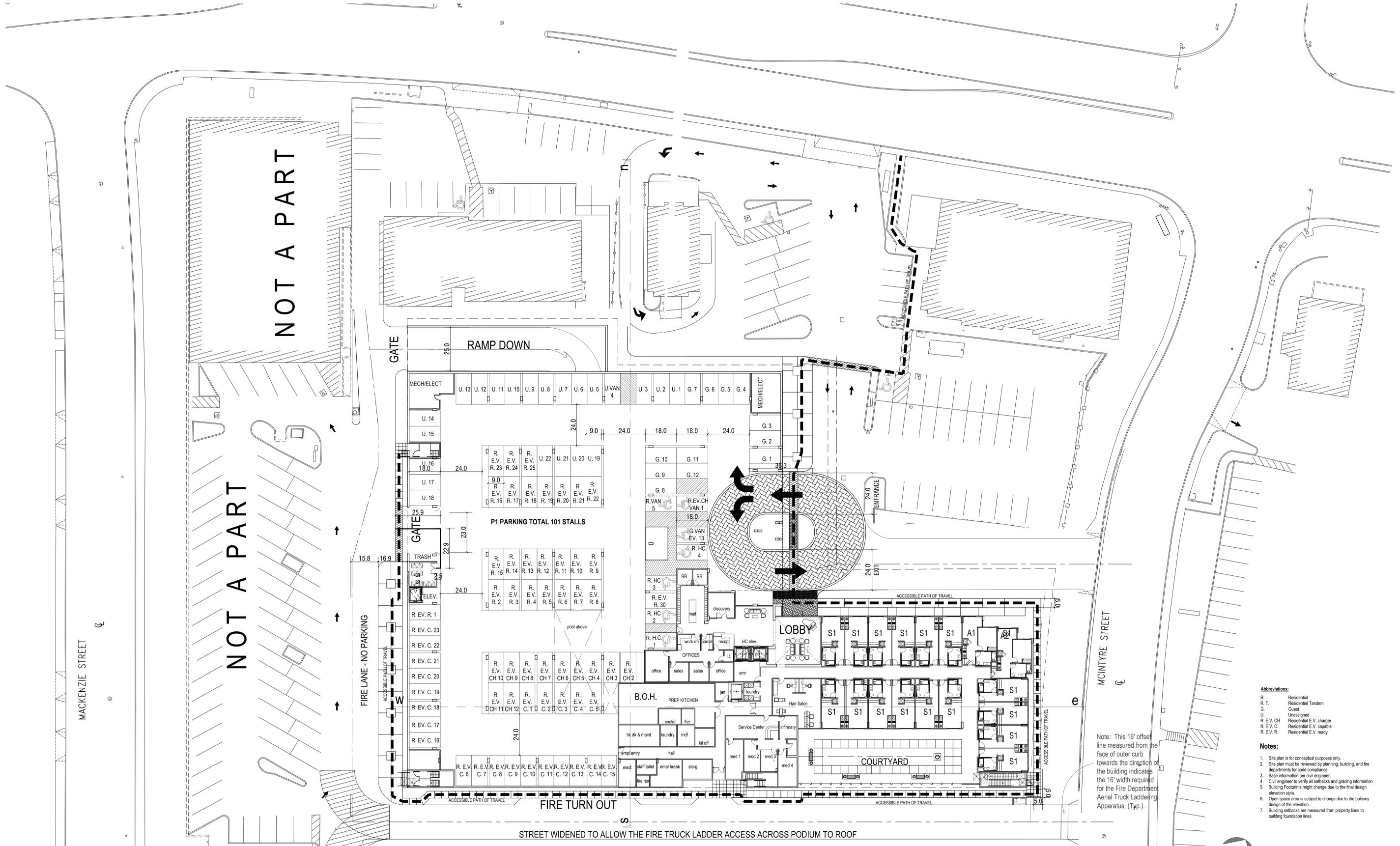


**A-02  
 BASEMENT**

**CONCEPTUAL DESIGN**

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NOT A PART

NOT A PART

**Abbreviations:**  
 R. Residential  
 R.T. Residential Tandem  
 G. Guest  
 U. Unassigned  
 R.E.V. Residential E.V. charger  
 R.E.V.C. Residential E.V. capsule  
 R.E.V.R. Residential E.V. ready

**Notes:**  
 1. Site plan is for conceptual purposes only.  
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 3. Base information per civil engineer.  
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 5. Building Footprints might change due to the final design elevation style.  
 6. Open space area is subject to change due to the balcony design of the elevation.  
 7. Building setbacks are measured from property lines to building foundation lines.

Note: This 16' offset line measured from the face of outer curb towards the direction of the building indicates the 16' width required for the Fire Department Aerial Truck Laddering Apparatus, (Typ.).

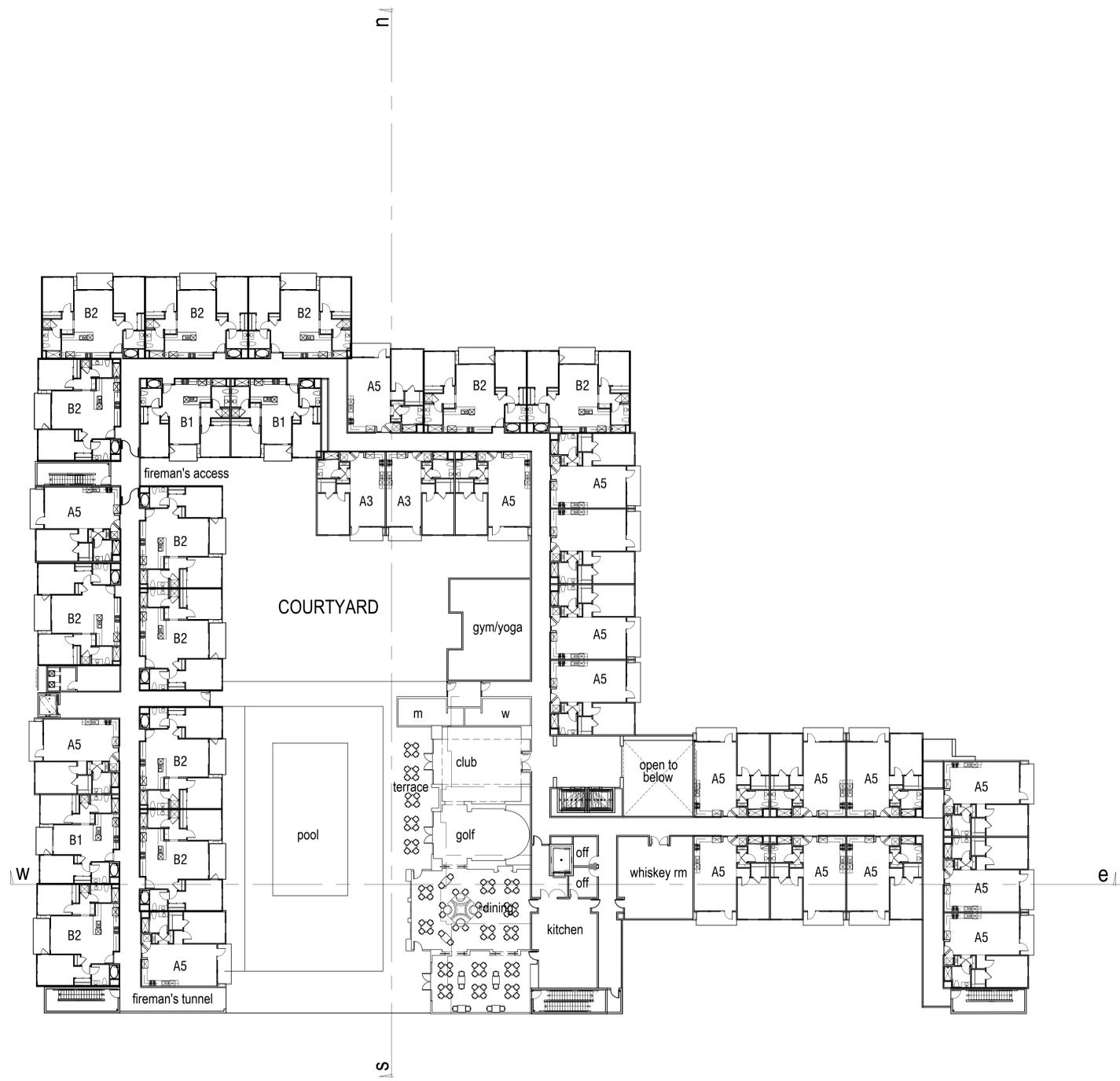
THE INTERIOR COLOR AND SIGNAGE TO COMPLY WITH LHMC  
 BLIND CORNER WILL BE PROVIDED WITH VIEWING MIRRORS TO COMPLY WITH LHMC

**LPVI LLC**

**LA PAZ VILLAGE SENIOR LIVING**  
 LAGUNA HILLS, CA

**A-03**  
**LEVEL 1**  
 0 8 16 32  
**CONCEPTUAL DESIGN**  
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**Notes:**

1. Site plan is for conceptual purposes only.
2. Site plan must be reviewed by planning, building, and fire departments for code compliance.
3. Base information per civil engineer.
4. Civil engineer to verify all setbacks and grading information.
5. Building Footprints might change due to the final design elevation style.
6. Open space area is subject to change due to the balcony design of the elevation.
7. Building setbacks are measured from property lines to building foundation lines.



ARCHITECTS . PLANNERS . DESIGNERS

**WHA**

ORANGE COUNTY . LOS ANGELES . BAY AREA

**LPVI LLC**

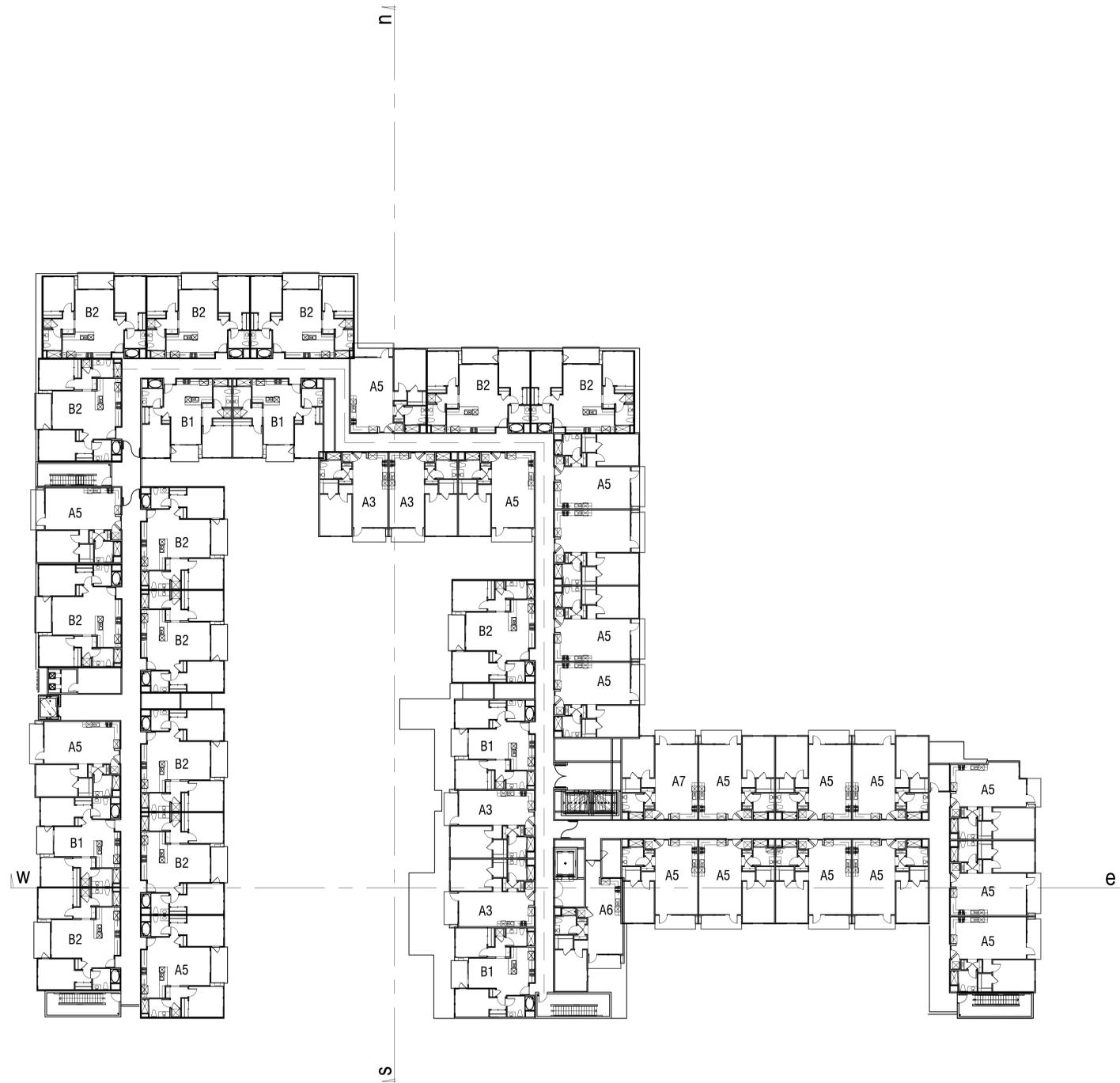
**LA PAZ VILLAGE SENIOR LIVING**

LAGUNA HILLS, CA

**A-04  
LEVEL 2**  
CONCEPTUAL DESIGN

0 8 16 32

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3. Base information per civil engineer.
4. Civil engineer to verify all setbacks and grading information.
5. Building Footprints might change due to the final design elevation style.
6. Open space area is subject to change due to the balcony design of the elevation.
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ARCHITECTS . PLANNERS . DESIGNERS

**WHA**

ORANGE COUNTY . LOS ANGELES . BAY AREA

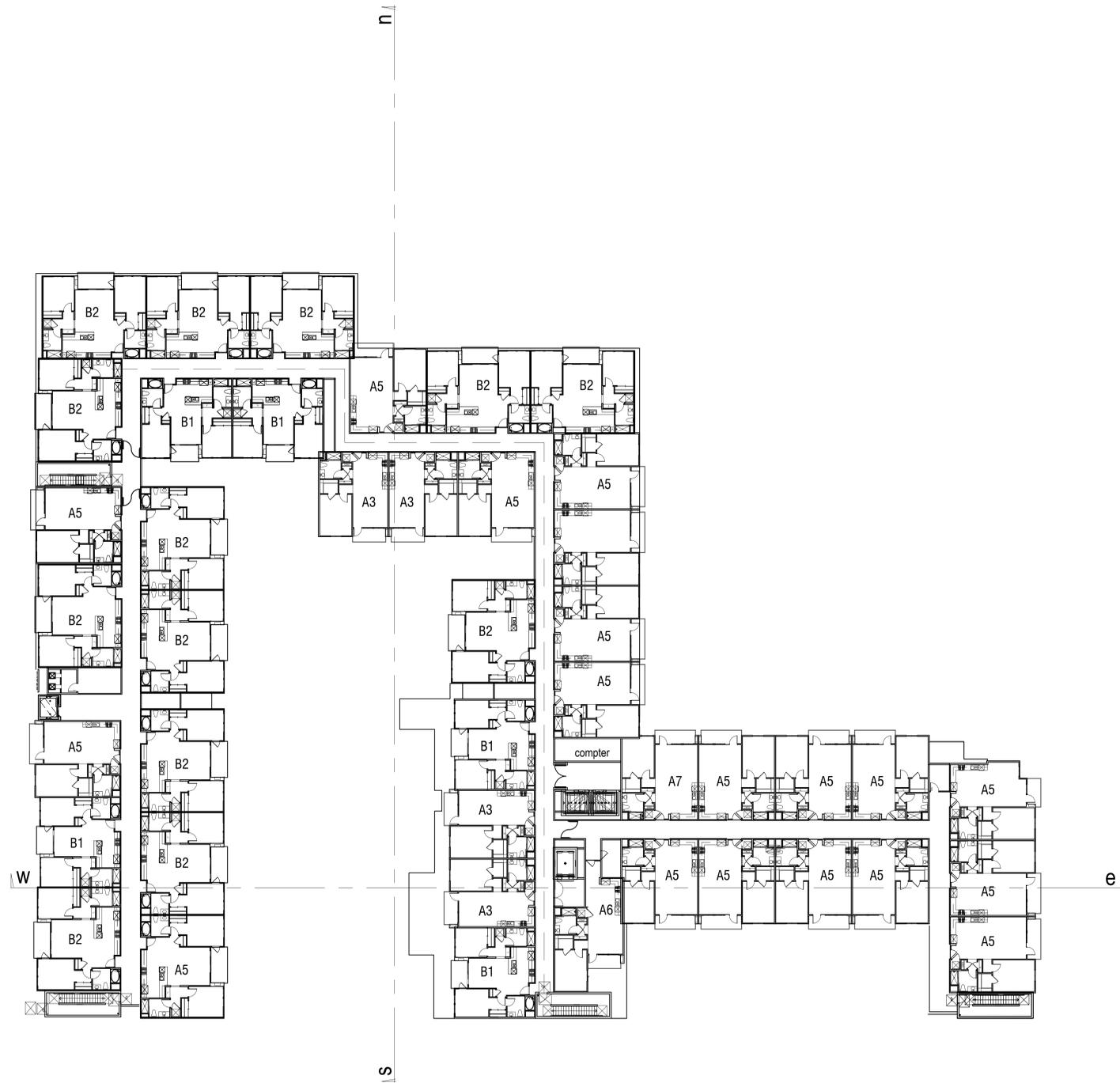
**LPVI LLC**

**LA PAZ VILLAGE SENIOR LIVING**

LAGUNA HILLS, CA

**A-05  
LEVEL 3**  
0 8 16 32  
**CONCEPTUAL DESIGN**

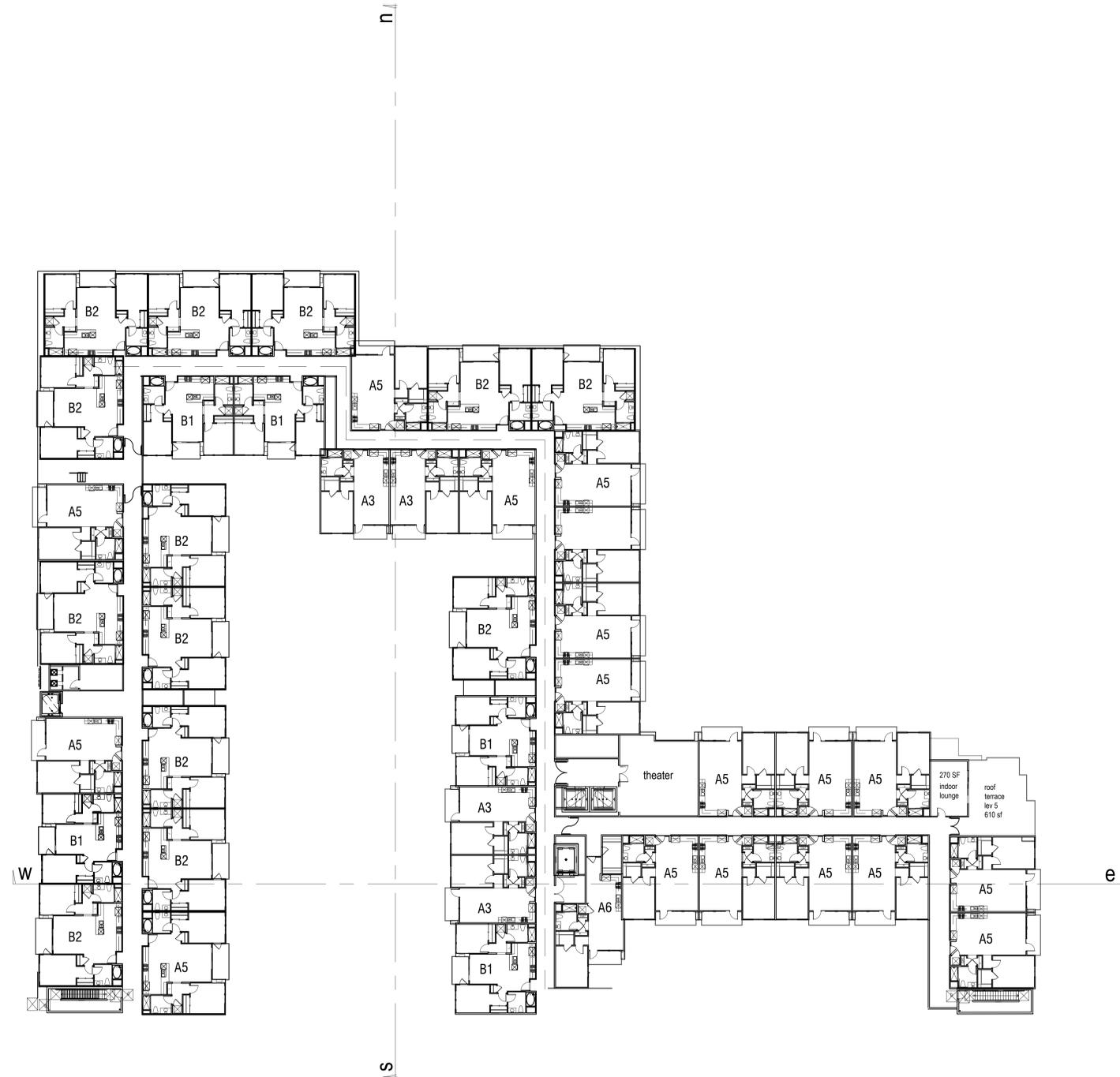
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**Notes:**

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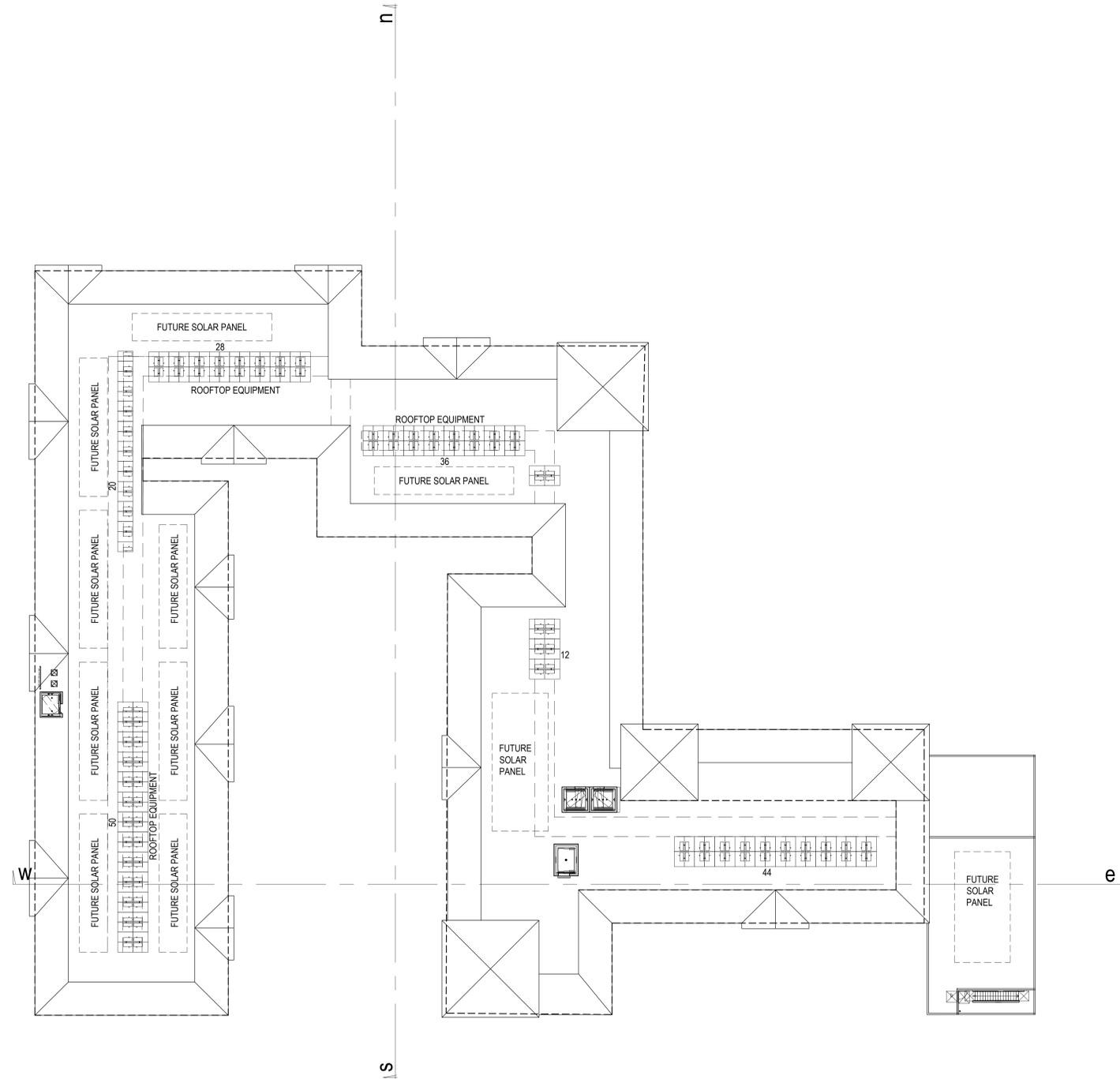




**Notes:**

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5. Building Footprints might change due to the final design elevation style.
6. Open space area is subject to change due to the balcony design of the elevation.
7. Building setbacks are measured from property lines to building foundation lines.

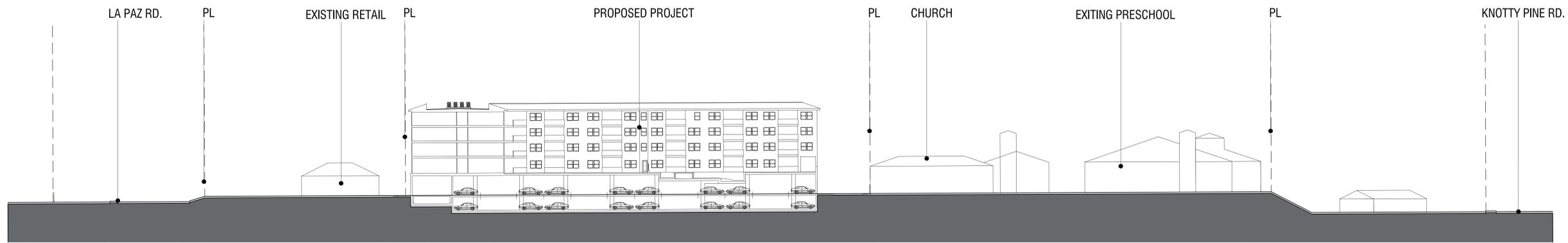




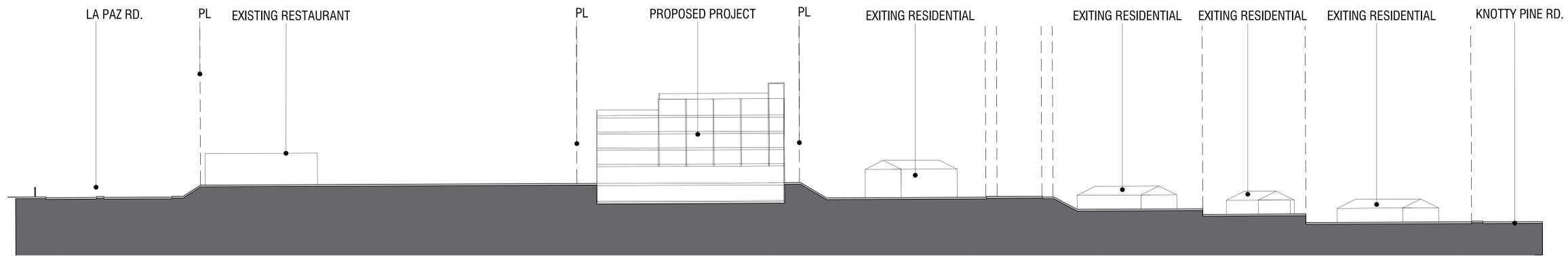
**Notes:**

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2. Site plan must be reviewed by planning, building, and fire departments for code compliance.
3. Base information per civil engineer.
4. Civil engineer to verify all setbacks and grading information.
5. Building Footprints might change due to the final design elevation style.
6. Open space area is subject to change due to the balcony design of the elevation.
7. Building setbacks are measured from property lines to building foundation lines.

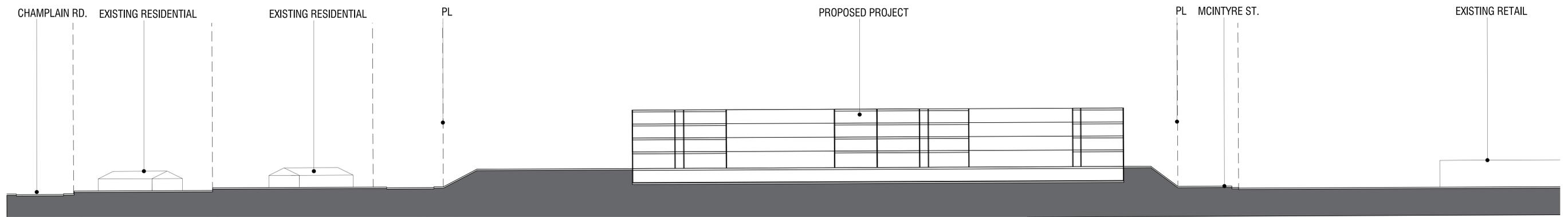




NORTH-SOUTH SECTION A-A



NORTH-SOUTH SECTION B-B

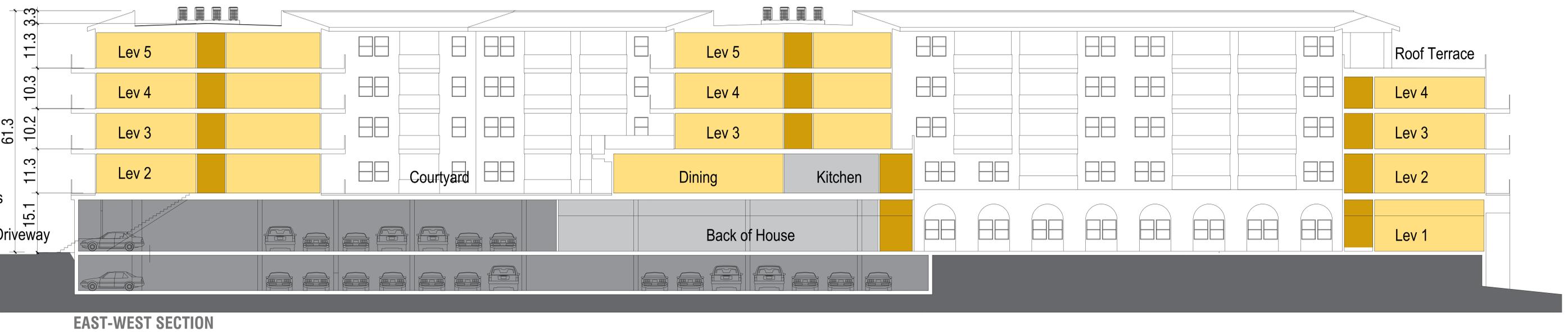
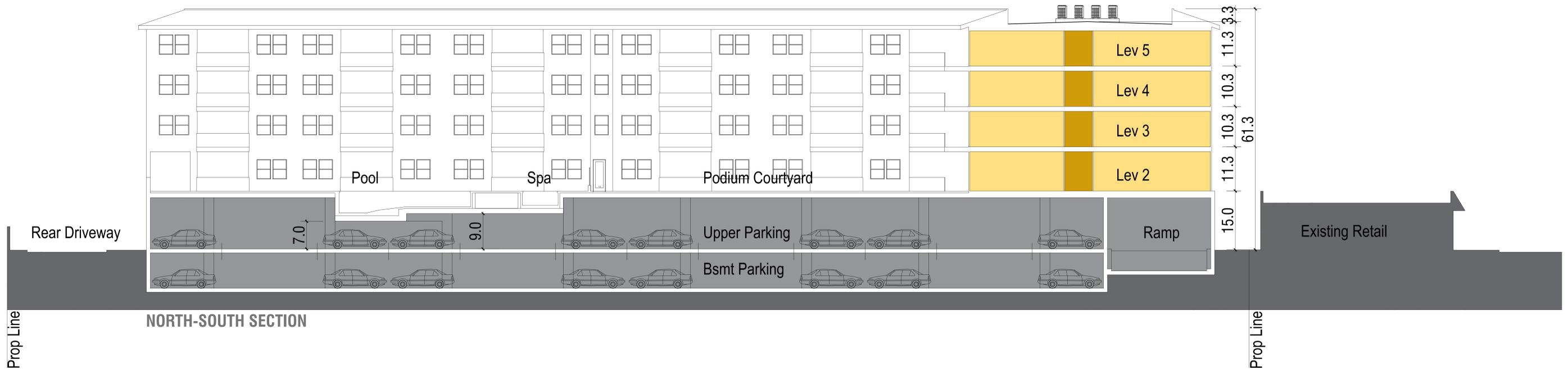


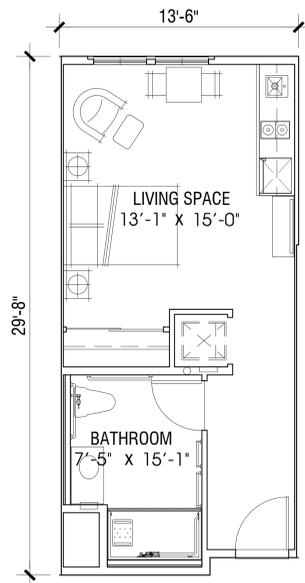
EAST-WEST SECTION C-C

NOTE: ADJACENT GRADE AND BUILDINGS DEPICTED ARE APPROXIMATIONS.

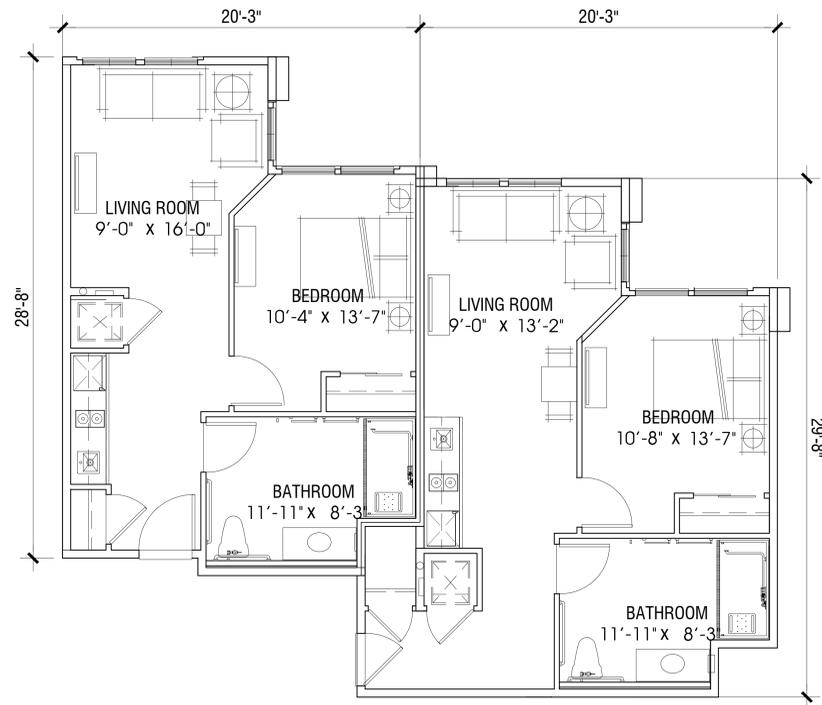
1"=30'-0"





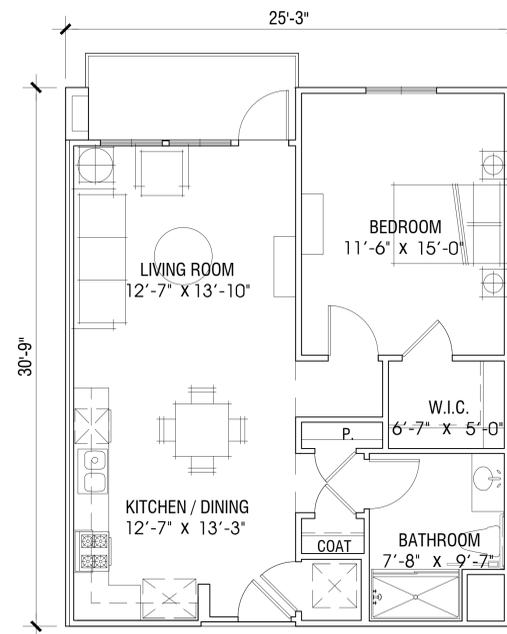


**UNIT: S1**  
**STUDIO**  
**AREA: 390 S.F.**

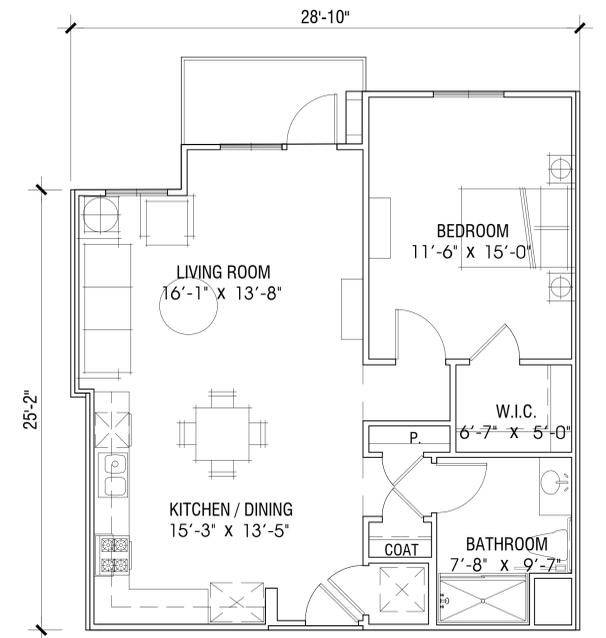


**UNIT: A1**  
**1 BEDROOM / 1 BATH**  
**AREA: 519 S.F.**

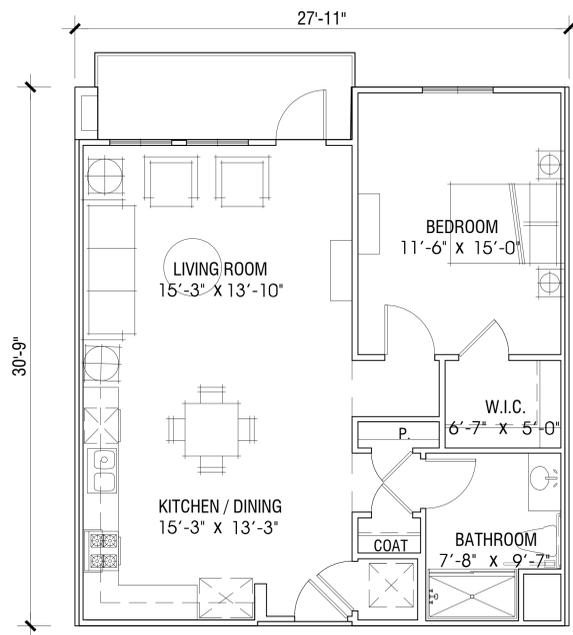
**UNIT: A2**  
**1 BEDROOM / 1 BATH**  
**AREA: 575 S.F.**



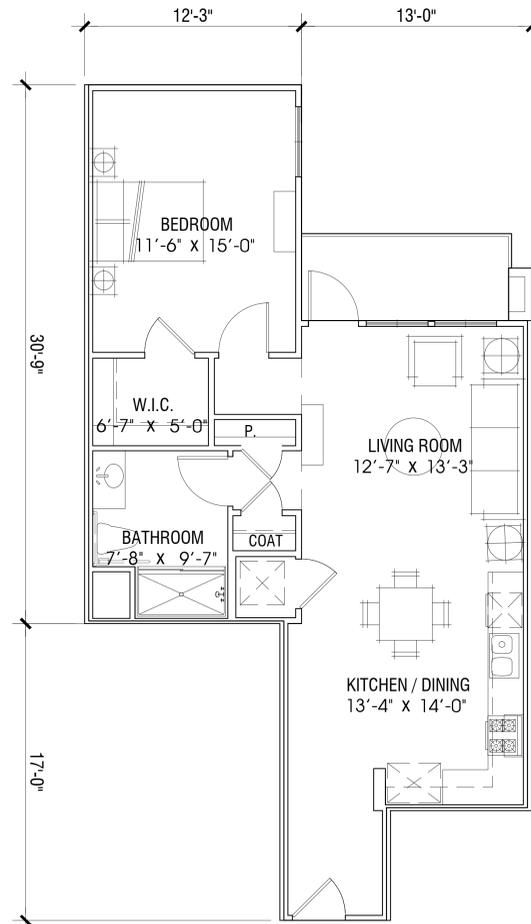
**UNIT: A3**  
**1 BEDROOM / 1 BATH**  
**AREA: 726 S.F.**  
**DECK: 60 S.F.**



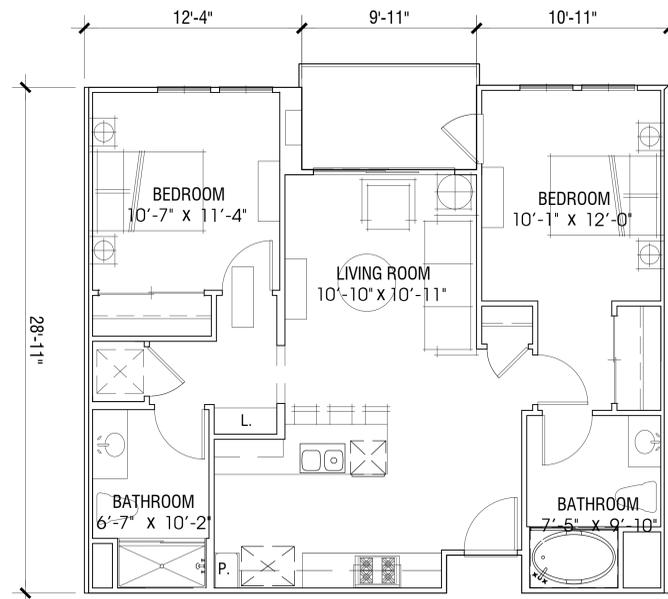
**UNIT: A4**  
**1 BEDROOM / 1 BATH**  
**AREA: 796 S.F.**  
**DECK: 48 S.F.**



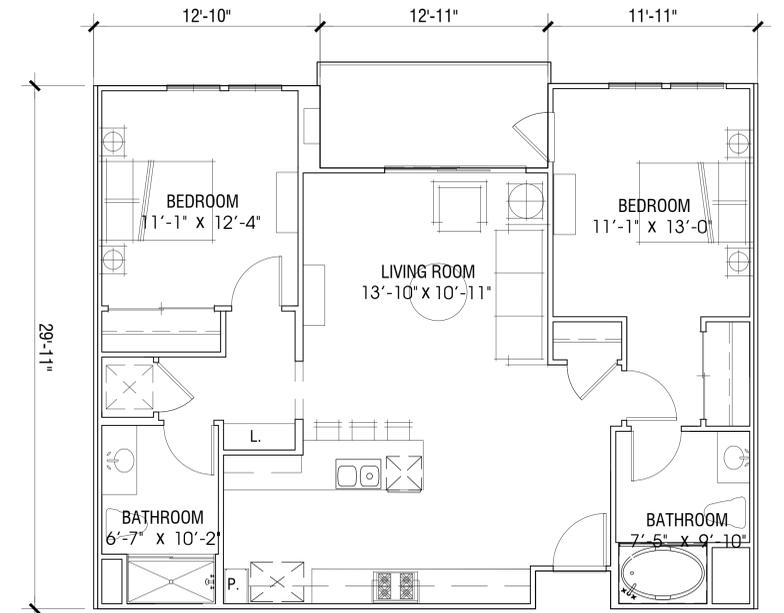
**UNIT: A5**  
**1 BEDROOM / 1 BATH**  
**AREA: 800 S.F.**  
**DECK: 71 S.F.**



**UNIT: A6**  
**1 BEDROOM / 1 BATH**  
**AREA: 772 S.F.**  
**DECK: 58 S.F.**



**UNIT: B1**  
**2 BEDROOM / 2 BATH**  
**AREA: 888 S.F.**  
**DECK: 60 S.F.**



**UNIT: B2**  
**2 BEDROOM / 2 BATH**  
**AREA: 1,040 S.F.**  
**DECK: 78 S.F.**



EXISTING RETAIL

MCINTYRE STREET

EXISTING RESTAURANT

PROPOSED PROJECT

EXISTING RESTAURANT

EXISTING RETAIL

EXISTING RETAIL

EXISTING OFFICE

MACKENZIE STREET

RESIDENTIAL

RESIDENTIAL

NOTE: ADJACENT GRADE AND BUILDINGS DEPICTED ARE APPROXIMATIONS.

CONCEPTUAL LA PAZ ELEVATION

1"=30'-0"



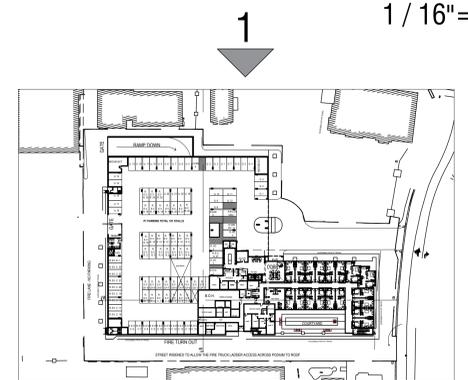
NOTE: ADJACENT GRADE AND BUILDINGS DEPICTED ARE APPROXIMATIONS.

1- NORTH ELEVATION

1 / 16"=1'-0"

LEGEND

- |                      |                                  |
|----------------------|----------------------------------|
| 1 STUCCO             | 8 CEMENTITIOUS BOARD (WOOD LIKE) |
| 2 CONCRETE ROOF      | 9 METAL SIGN                     |
| 3 METAL RAILING      | 10 PAINTED SIGN                  |
| 4 METAL CANOPY       | 11 ALUMINUM ENTRANCE DOOR        |
| 5 VINYL FRENCH DOOR  | 12 WOOD TRELLIS                  |
| 6 VINYL WINDOW       | 13 PARKING GARAGE OPENING        |
| 7 VINYL SLIDING DOOR | 14 CORNICE                       |
|                      | 15 WOOD WINDOW TRIM              |





NOTE: ADJACENT GRADE AND BUILDINGS DEPICTED ARE APPROXIMATIONS.

CONCEPTUAL MCINTYRE ELEVATION

1"=30'-0"



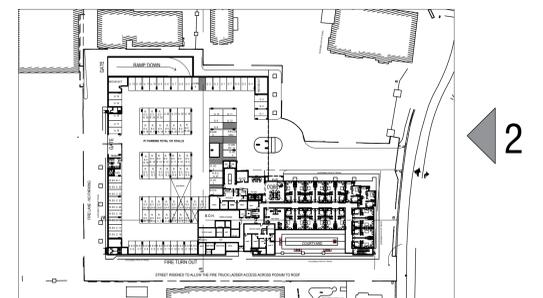
NOTE: ADJACENT GRADE AND BUILDINGS DEPICTED ARE APPROXIMATIONS.

2- EAST ELEVATION

1 / 16"=1'-0"

LEGEND

- |                      |                                  |
|----------------------|----------------------------------|
| 1 STUCCO             | 8 CEMENTITIOUS BOARD (WOOD LIKE) |
| 2 CONCRETE ROOF      | 9 METAL SIGN                     |
| 3 METAL RAILING      | 10 PAINTED SIGN                  |
| 4 METAL CANOPY       | 11 ALUMINUM ENTRANCE DOOR        |
| 5 VINYL FRENCH DOOR  | 12 WOOD TRELLIS                  |
| 6 VINYL WINDOW       | 13 PARKING GARAGE OPENING        |
| 7 VINYL SLIDING DOOR | 14 CORNICE                       |
|                      | 15 WOOD WINDOW TRIM              |





NOTE: ADJACENT GRADE AND BUILDINGS DEPICTED ARE APPROXIMATIONS.

### CONCEPTUAL KNOTTY PINE ROAD ELEVATION

1"=30'-0"



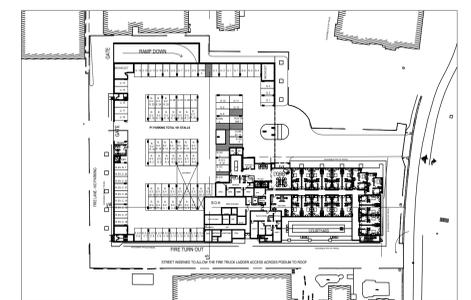
NOTE: ADJACENT GRADE AND BUILDINGS DEPICTED ARE APPROXIMATIONS.

### 3- SOUTH ELEVATION

1 / 16" = 1'-0"

#### LEGEND

- |                      |                                  |
|----------------------|----------------------------------|
| 1 STUCCO             | 8 CEMENTITIOUS BOARD (WOOD LIKE) |
| 2 CONCRETE ROOF      | 9 METAL SIGN                     |
| 3 METAL RAILING      | 10 PAINTED SIGN                  |
| 4 METAL CANOPY       | 11 ALUMINUM ENTRANCE DOOR        |
| 5 VINYL FRENCH DOOR  | 12 WOOD TRELLIS                  |
| 6 VINYL WINDOW       | 13 PARKING GARAGE OPENING        |
| 7 VINYL SLIDING DOOR | 14 CORNICE                       |
|                      | 15 WOOD WINDOW TRIM              |



3



NOTE: ADJACENT GRADE AND BUILDINGS DEPICTED ARE APPROXIMATIONS.

CONCEPTUAL MACKENZIE ELEVATION

1"=30'-0"



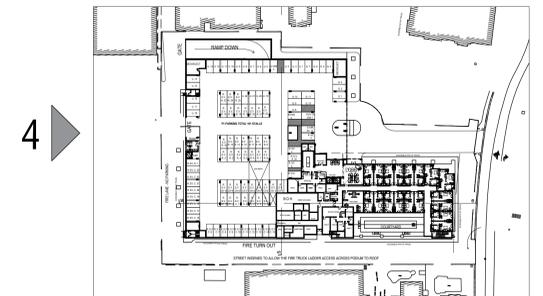
NOTE: ADJACENT GRADE AND BUILDINGS DEPICTED ARE APPROXIMATIONS.

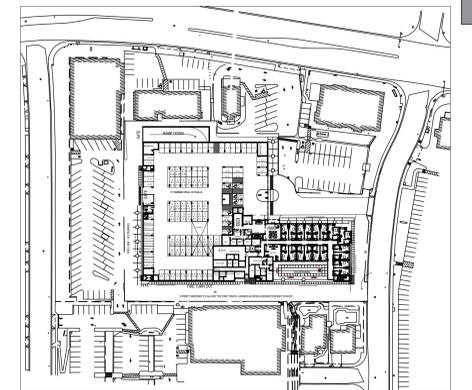
4- WEST ELEVATION

1/16"=1'-0"

LEGEND

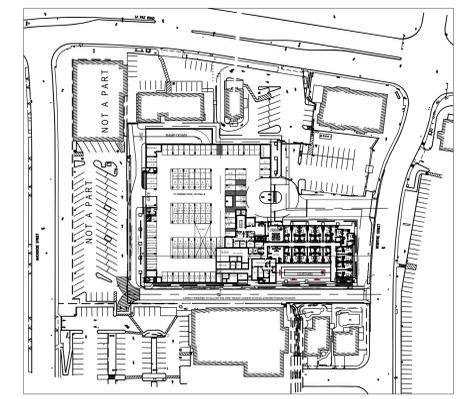
- |                      |                                  |
|----------------------|----------------------------------|
| 1 STUCCO             | 8 CEMENTITIOUS BOARD (WOOD LIKE) |
| 2 CONCRETE ROOF      | 9 METAL SIGN                     |
| 3 METAL RAILING      | 10 PAINTED SIGN                  |
| 4 METAL CANOPY       | 11 ALUMINUM ENTRANCE DOOR        |
| 5 VINYL FRENCH DOOR  | 12 WOOD TRELLIS                  |
| 6 VINYL WINDOW       | 13 PARKING GARAGE OPENING        |
| 7 VINYL SLIDING DOOR | 14 CORNICE                       |
|                      | 15 WOOD WINDOW TRIM              |





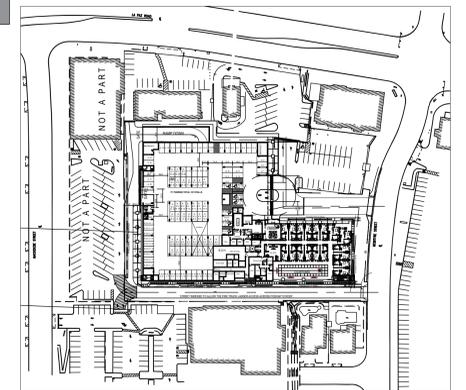


2  
↓





3



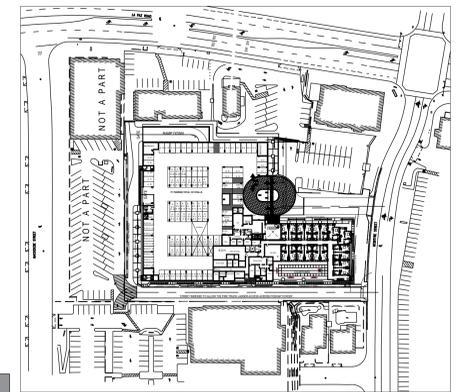
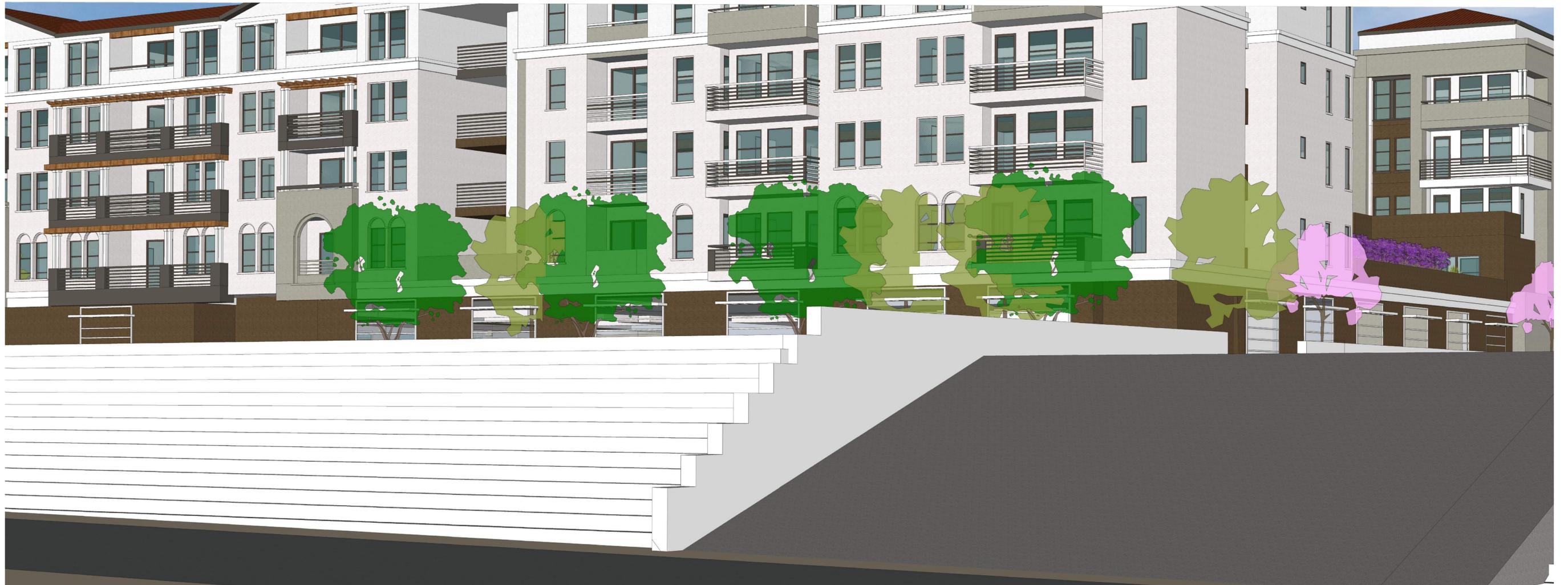
LPVI LLC

LA PAZ VILLAGE SENIOR LIVING  
LAGUNA HILLS, CA

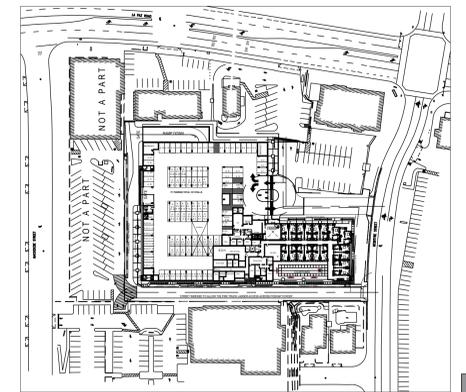
A-19  
PERSPECTIVE VIEWS  
CONCEPTUAL DESIGN

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**WHA**  
ORANGE COUNTY . LOS ANGELES . BAY AREA



4





LA PAZ ELEVATION



**1** EXTERIOR WALLS  
MANUFACTURE: OMEGA PRODUCTS OR EQUAL  
MATERIAL: 20 30 STUCCO



**2** ROOF  
MANUFACTURE: EAGLE ROOFING OR EQUAL  
MATERIAL: CAPISTRANO 3526 VALENCIA



**3** WOOD TRELLIS  
MANUFACTURE: ONSITE FABRICATION  
MATERIAL: WOOD  
COLOR: VALSPAR- CEDAR



**4** GARAGE GRILL  
MANUFACTURE: AMETCO OR EQUAL  
MATERIAL: STEEL  
COLOR: FACTORY PRIMED AND PAINTED IN FIELD



**5** METAL RAILING  
MANUFACTURE: FORTRESS OR EQUAL  
MATERIAL: STEEL  
COLOR: FACTORY PRIMED AND PAINTED IN FIELD



**A** COLOR  
DUNN EDWARDS DEC 756  
WEATHERED BROWN



**B** COLOR  
DUNN EDWARDS DE344  
FROSTING CREAM



**6** WINDOW  
MANUFACTURE: MILGARD OR EQUAL  
MATERIAL: VINYL  
COLOR: WHITE



**C** COLOR  
DUNN EDWARDS DEC 751  
ASH GREY



**D** COLOR  
DUNN EDWARDS DET 619  
CELLULOID



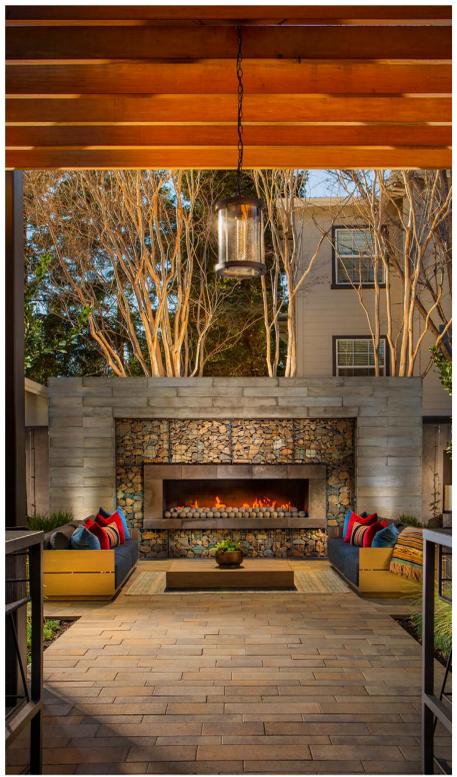
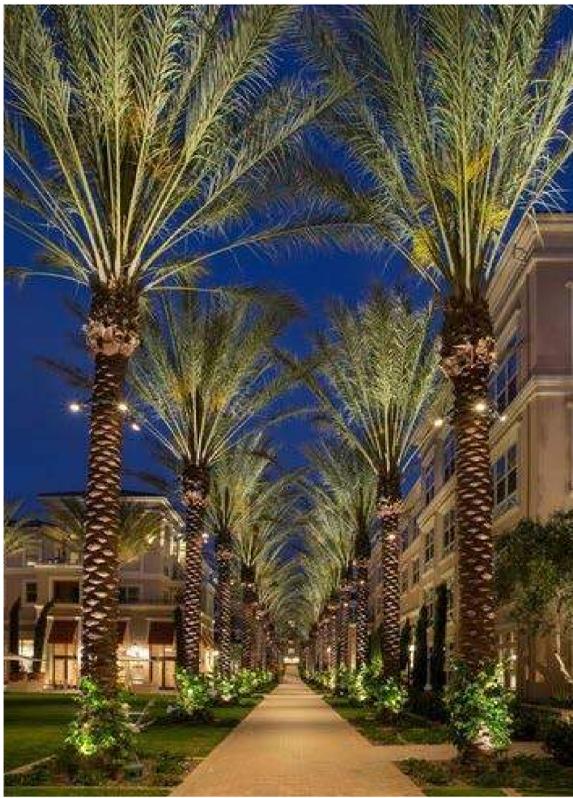
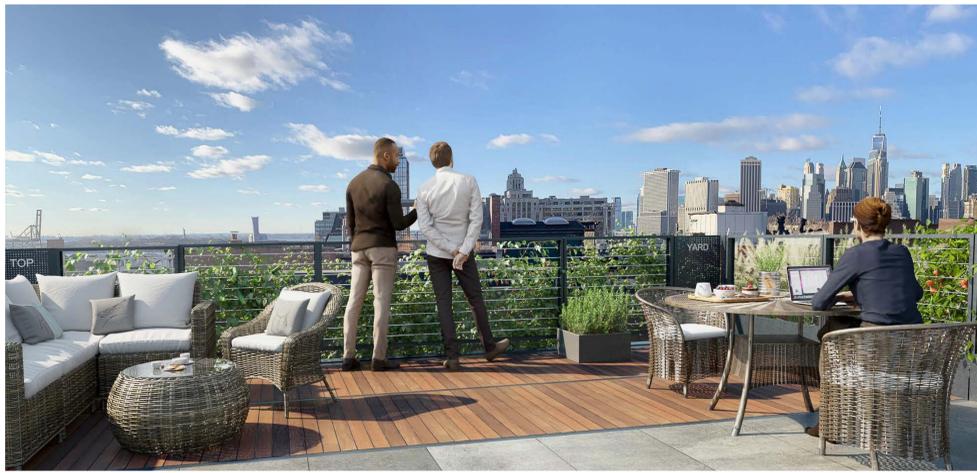
**7** WINDOW TRIM  
MANUFACTURE: BUILDER CHOICE OR EQUAL  
MATERIAL: WOOD  
COLOR: PAINT TO MATCH STUCCO



**8** SLIDING DOOR  
MANUFACTURE: MILGARD OR EQUAL  
MATERIAL: VINYL  
COLOR: WHITE



**9** METAL CANOPY  
MANUFACTURE: IMPERIAL MARQUEE OR EQUAL  
MATERIAL: STEEL  
COLOR: FACTORY PRIMED AND PAINTED IN FIELD



# LEGEND

- 1 Project Entry Corridor
- 2 Lobby Entrance with Enhanced Paving and Landscape
- 3 Buffer Hedge Planting
- 4 Re-Clad Existing Retaining Wall
- 5 Refresh Streetscape
- 6 Courtyard with Social Sitting and Decor Landscape
- 7 Shade Trees with Accent Planting





- ### LEGEND
- 1 Lawn Panel w/Bench Seating
  - 2 Fireplace w/Lounge Seating
  - 3 Dining Terrace w/Shade Structure
  - 4 Barbecue Counter
  - 5 Main Pedestrian Corridor w/Shade Structure
  - 6 Pool - approx. 23'x58' (1,334 s.f.)
  - 7 Cabana Structure
  - 8 Chaise Lounge Furniture
  - 9 Trees in Planters
  - 10 Accent Shade Trees
  - 11 Spa w/Water Feature Wall 6.5'x12.5' (81.25 s.f.)
  - 12 Glass Pool Fence
  - 13 Parterre Garden w/Lounge Seating



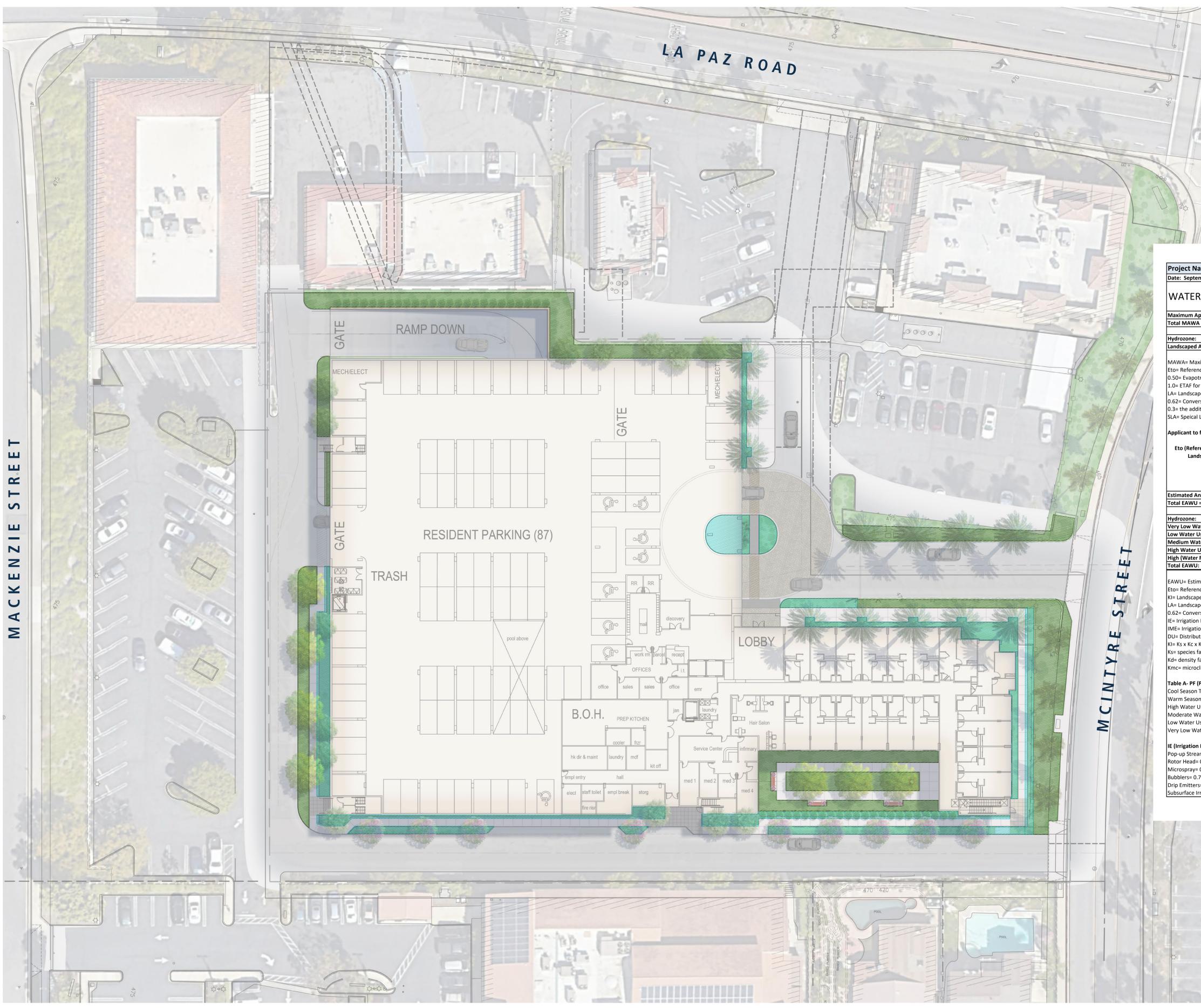
# LEGEND



LOW WATER USE



MEDIUM WATER USE



**Project Name:** La Paz Village  
**Date:** September 18, 2023

### WATER EFFICIENT WORK SHEET

**Maximum Applied Water Allowance (MAWA)**  
**Total MAWA = (Eto x 0.50 x LA in Sq.ft. x 0.62) + (Eto x 1.0 x SLA in Sq.ft. x 0.62) = Gallons per year for LA + SLA**

Hydrozone:	Eto:	KL	LA Sq. Ft.	Conversion	SLA Sq. Ft.	MAWA
Landscaped Area	47.8	0.55	13,496	0.62	NA	219,982

MAWA= Maximum Applied Water Allowance (gallons per year)  
 Eto= Reference Evapotranspiration from Appendix C (inches per year)  
 0.50= Evapotranspiration Adjustment Factor (ETAF)  
 1.0= ETAF for Special Landscaped Area  
 LA= Landscaped Area includes Special Landscape Area (square feet)  
 0.62= Conversion Factor (to gallons per square foot)  
 0.3= the additional ET adjustment Factor for Special Landscape Area (1.0- 0.7= 0.3)  
 SLA= Special Landscape Area (square feet)

Applicant to fill in boxes below:

Eto (Reference Evapotranspiration from Appendix C inches per year)	47.8
Landscaped Area includes Special Landscape Area (square feet)	13,496
Special Landscape Area (square feet)	0

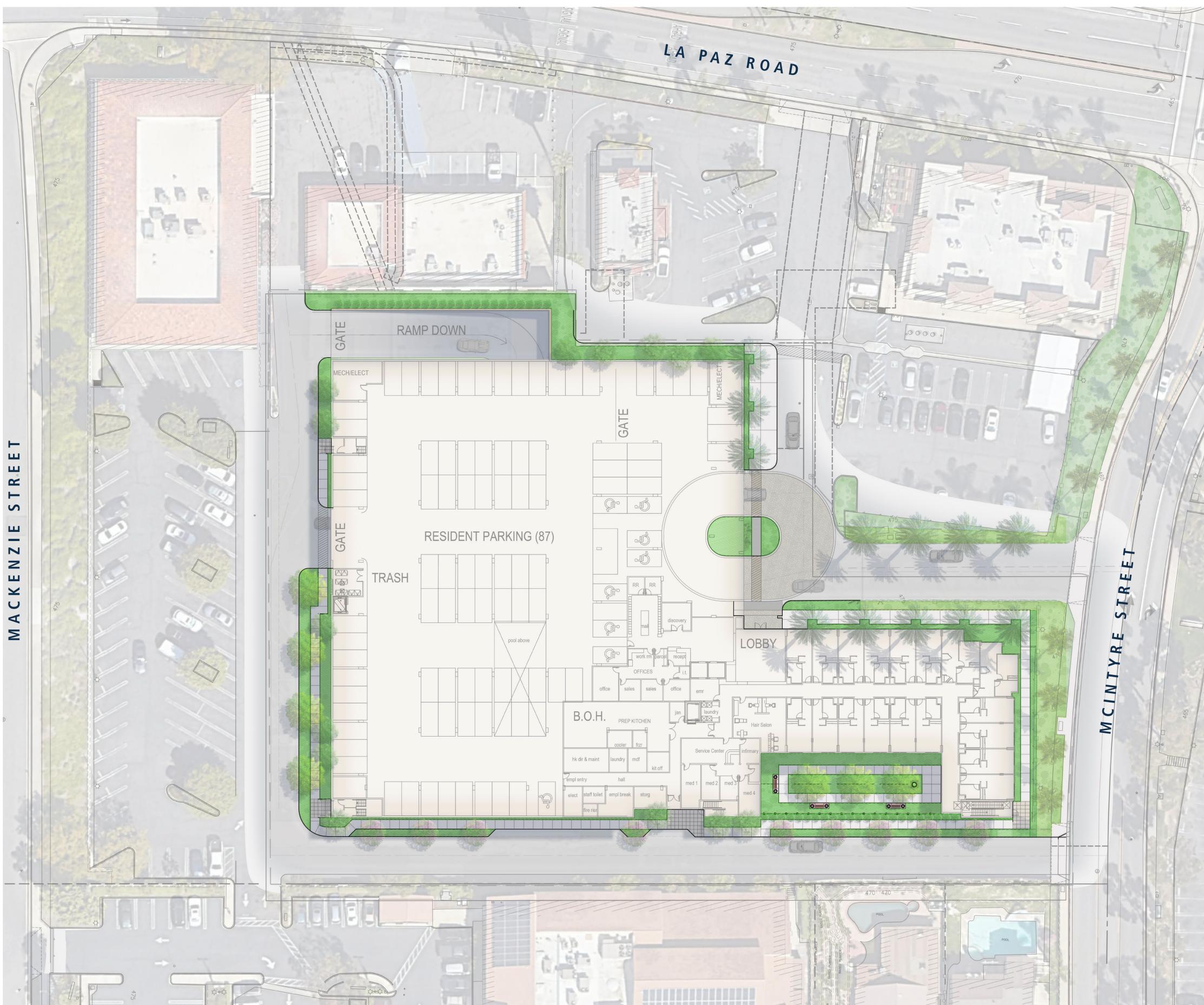
**Estimated Annual Water Use:**  
**Total EAWU = (Eto x KL x LA in Sq.ft. / IE) = Gallons Per Year**

Hydrozone:	Eto:	KL	Sq. Ft.	Conversion	IE	EAWU
Very Low Water Use	47.8	0.1	0	0.62	0.81	-
Low Water Use	47.8	0.2	8,390	0.62	0.81	61,394
Medium Water Use S	47.8	0.5	5,106	0.62	0.81	93,408
High Water Use	47.8	0.8	-	0.62	0.73	-
High (Water Feature)	47.8	1.0	-	0.62	1.00	-
<b>Total EAWU:</b>			<b>13,496</b>			<b>154,802</b>

EAWU= Estimated Applied Water Use (gallons per year)  
 Eto= Reference Evapotranspiration from Appendix C (inches per year)  
 KL= Landscape Coefficient  
 LA= Landscaped Area (square feet)  
 0.62= Conversion Factor (to gallons per square foot)  
 IE= Irrigation Efficiency= IME x DU (See definition in Appendix E for example IE percentages)  
 IME= Irrigation Management Efficiency (90%)  
 DU= Distribution Uniformity of Irrigation Head  
 KL= Ks x Kc x Kmc  
 Ks= species factor (range 1.0- 0.9) (see WUCOLS list for values)  
 Kd= density factor (range 0.5- 1.3) (see WUCOLS list for density value)  
 Kmc= microclimatic factor (range 0.5- 1.4) (see WUCOLS)

**Table A- PF (Plant Factor)**  
 Cool Season Turf= 0.8  
 Warm Season Turf= 0.7  
 High Water Use Plants= 0.7 (can be between 0.7-0.9)  
 Moderate Water Use Plants= 0.5 (can be between 0.4-0.6)  
 Low Water Use Plants= 0.2 (can be between 0.1-0.3)  
 Very Low Water Use Plants= 0.1

**IE (Irrigation Efficiency)- Appendix E**  
 Pop-Up Stream Rotor= 0.73  
 Rotor Head= 0.76  
 Microspray= 0.76  
 Bubblers= 0.77  
 Drip Emitters= 0.81  
 Subsurface Irrigation= 0.81



# LEGEND

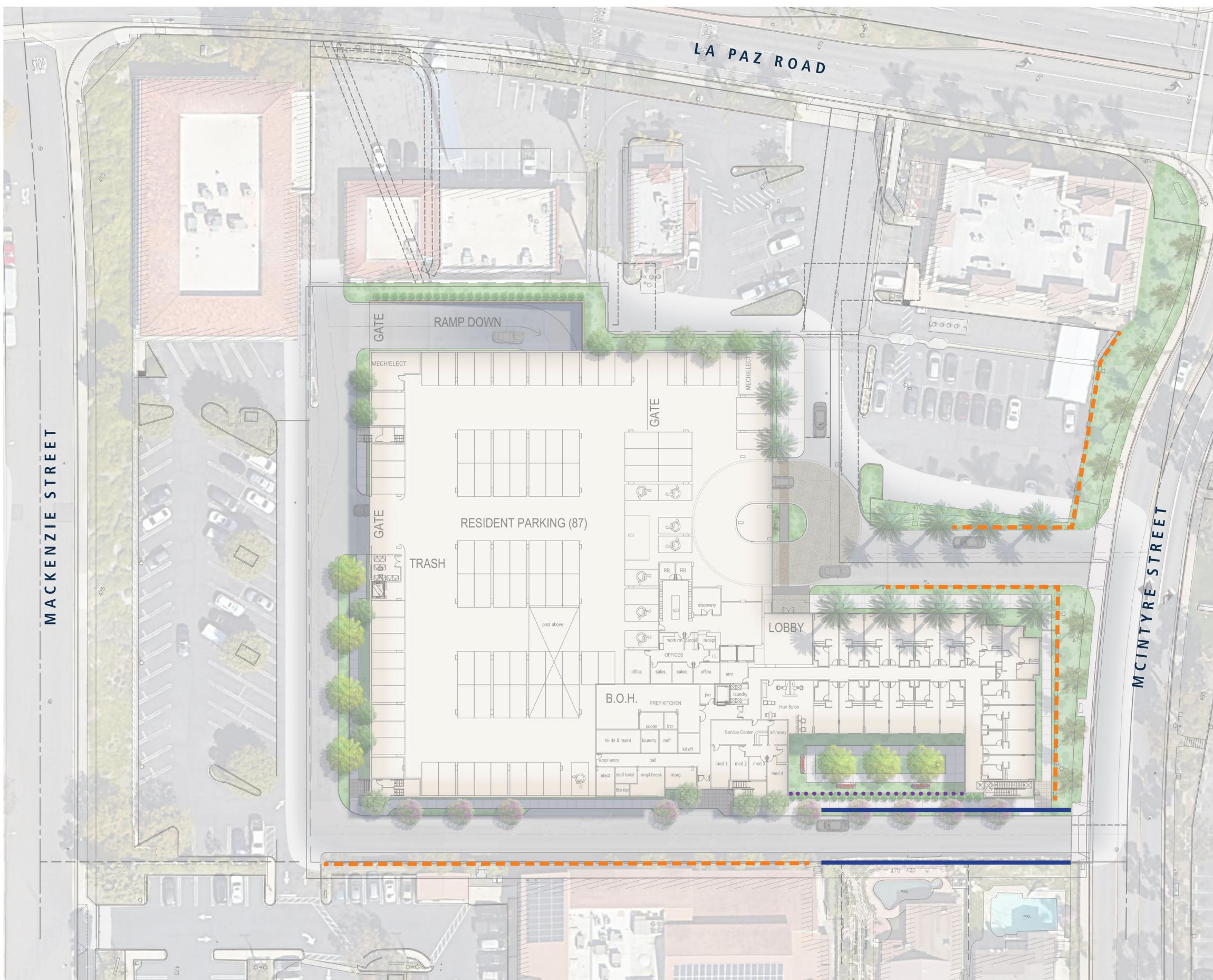
OPEN SPACE: 29,682 SF  
 REQUIRED LANDSCAPE AREA (15%): 4,453 SF  
 TOTAL PROVIDED LANDSCAPE AREA: 13,500 SF

- PLANTING AREA: 10,333 SF
- REFRESH LANDSCAPE AREA: 3,167 SF



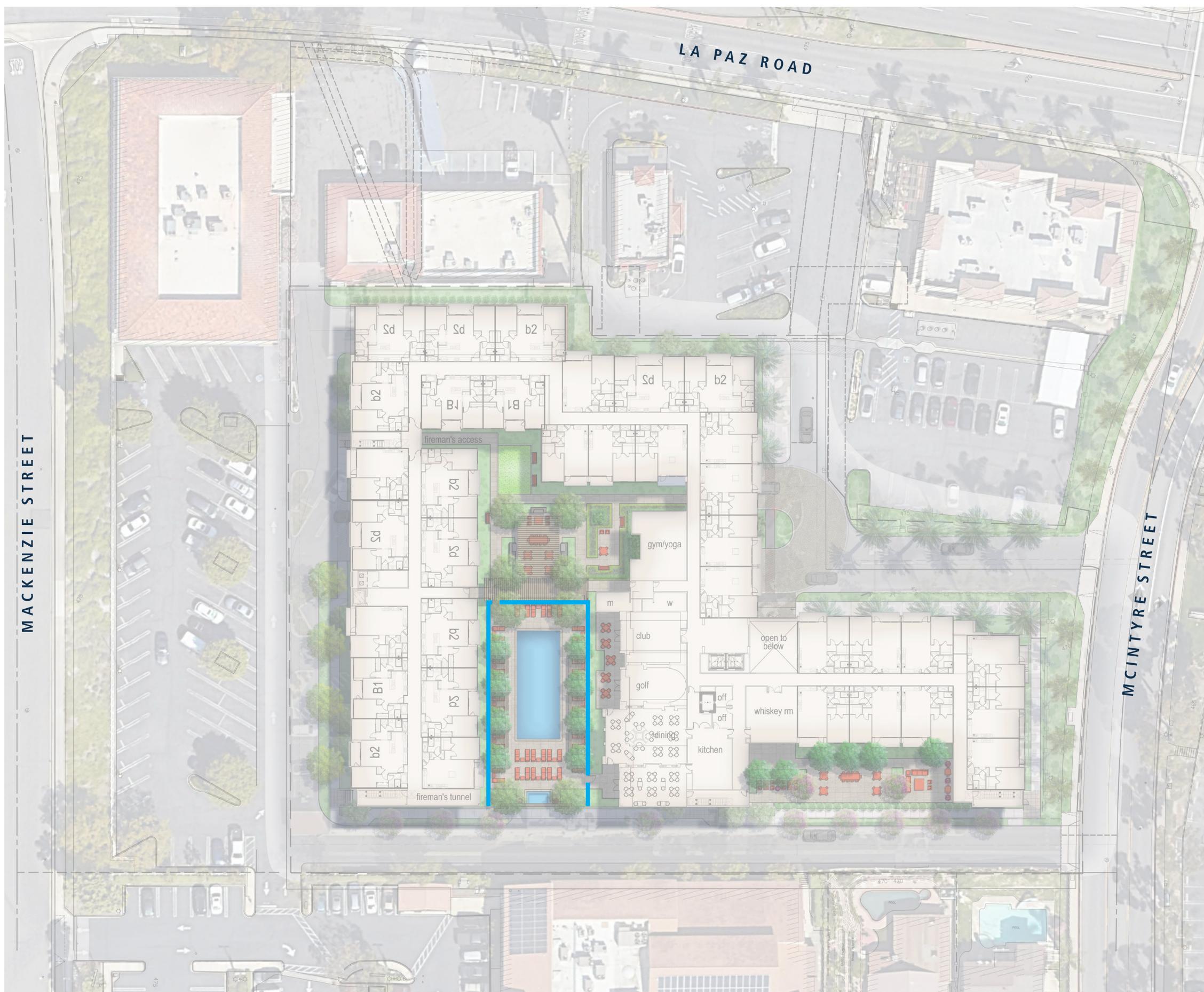
# LEGEND

- ..... Tubular Steel View Fence
- Retaining Block Wall (per Civil Engineer)
- - - - - Existing Wall and Fence (to be Protected in Place)



# LEGEND

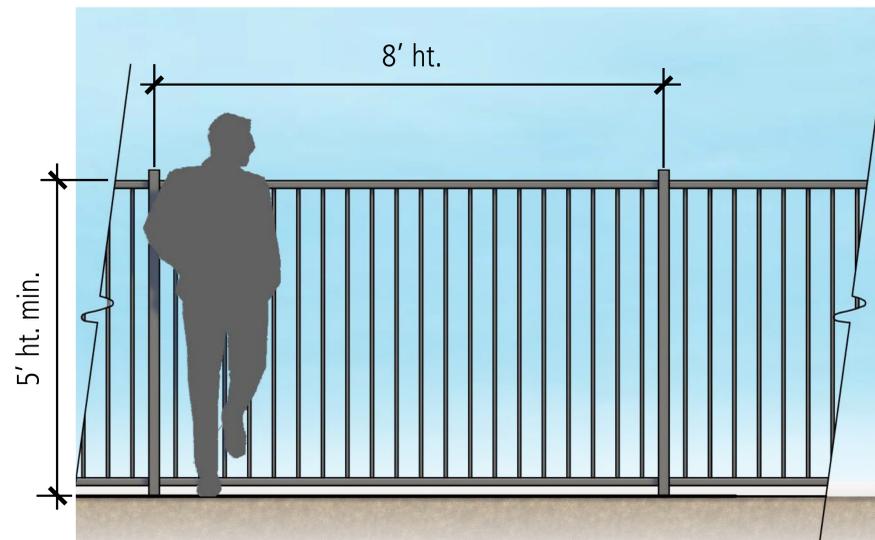
Pool Glass Fence





### TUBULAR STEEL VIEW FENCE

- 5' ht. min. Tubular Steel Fence
- Apply (1) coat primer and (2) coats paint. All members should be metalized after fabrication.



Tubular Steel View Fence

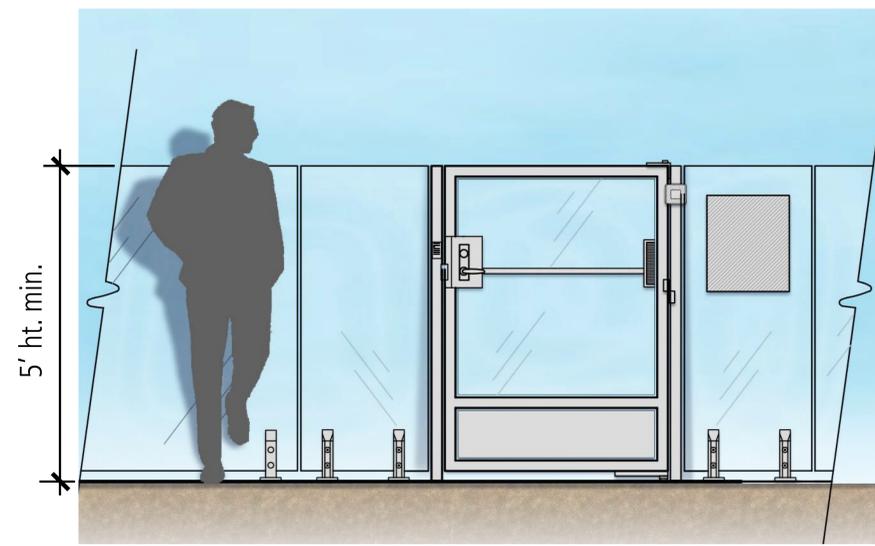


Paint Color - Urban Bronze



### POOL GLASS FENCE

- 5' ht min.
- 4' horizontal non-climbable clearance
- 1/2" tempered glass



Pool Enclosure Glass Gate

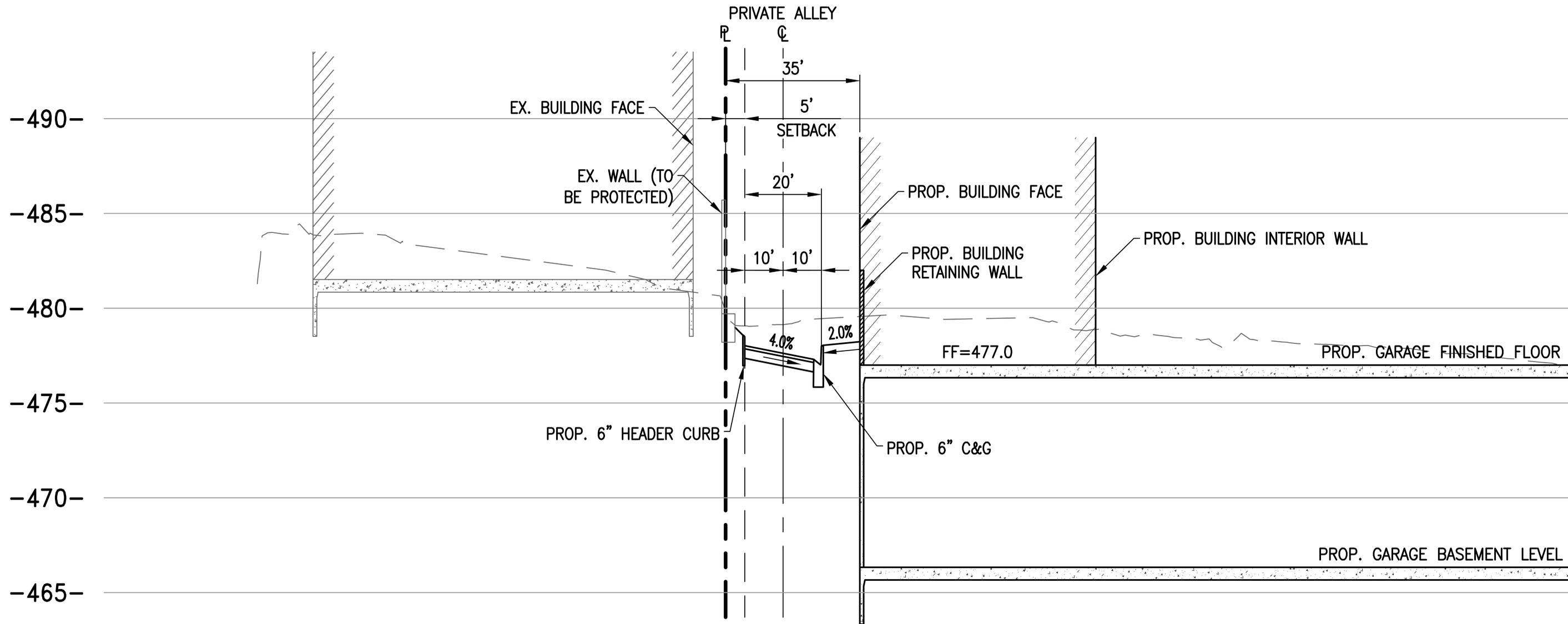


Pool Enclosure Glass Panels



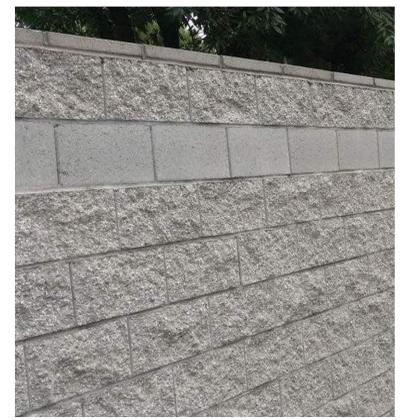
Stainless Steel Hardware

**RETAINING BLOCK WALL (PER CIVIL ENGINEER)**



SECTION B-B  
NORTH-SOUTH OF PROJECT SITE

\*La Paz Senior Housing City Submittal Set 11.17.23 - CV Consulting, Inc. Civil Engineering



CMU Wall - White



Precision CMU Wall - White



Splitface CMU Wall- White



Precision Wall Cap - White

**TREE SCHEDULE:**

BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
<i>Aloe bainesii</i>	Aloe Tree	15 Gal	L
<i>Dracena draco</i>	Dragon Tree	15 Gal	L
<i>Koelreuteria paniculata</i>	Golden Rain Tree	15 Gal	L
<i>Lagerstroemia indica</i>	Crepe Myrtle	15 Gal	M
<i>Laurus nobilis</i>	Bay Laurel	15 Gal	L
<i>Olea euopaea 'Swan Hill'</i>	Swan Hill Olive	15 Gal	L
<i>Parkinsonia x Desert Museum</i>	Desert Museum Palo Verde	15 Gal	L
<i>Phoenix dactylifera</i>	Date Palm	16' BTH	L
<i>Pinus canariensis</i>	Canary Island Pine	15 Gal	M
<i>Tristania conferta</i>	Brisbane Box Tree	15 Gal	M
<i>Washingtonia robusta</i>	Mexican Fan Palm	16' BTH	



**SHRUB SCHEDULE:**

BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
<i>Agave</i>	Agave spp.	5 gal	L
<i>Bougainvillea</i>	Bougainvillea 'Oo la la'	1 gal	L
<i>Dianella tasmanica 'Variegata'</i>	Variegated Flax Lily	1 gal	M
<i>Disictis buccinatoria</i>	Red Trumpet Vine	15 gal	M
<i>Dietes bicolor</i>	Fortnight Lily	5 gal	L
<i>Echeveria spp.</i>	Echeveria	5 gal	L
<i>Festuca Glauca 'Elijah Blue'</i>	Elijah Blue Fescue	1 gal	L
<i>Furcraea foetida 'Mediopicta'</i>	Mauritius Hemp	5 gal	L
<i>Hemerocallis 'Pardon Me'</i>	'Pardon Me' Day Lily	1 gal	M
<i>Hesperaloe parviflora</i>	Red Yucca	1 gal	L
<i>Ligustrum Japonica</i>	Japanese Privot	5 gal	L
<i>Lomandra longifolia 'Breezel'</i>	Dwarf Mat Rush	5 gal	M
<i>Podocarpus henkelii</i>	Leafed Yellowwood	15 gal	M
<i>Rhaphiolepis indica</i>	Indian Hawthorn 'Clara'	1 gal	L
<i>Rhaphiolepis 'Majestic Beauty'</i>	'Majestic Beauty' Indian Hawthorn	5 gal	M
<i>Rosmarinus officinalis 'Prostrate'</i>	Prostrate Rosemary	1 gal	L
<i>Senecio serpens</i>	Blue Chopsticks	1 gal	L



**GROUNDCOVER SCHEDULE:**

BOTANICAL NAME	COMMON NAME	SIZE	WUCOL
<i>Carissa macrocarpa 'Green Carpet'</i>	Green Carpet Natal Plum	1 gal	L
<i>Baccharis pilularis</i>	Dwarf Coyote Brush	1 gal	L
<i>Lonicera j. halliana</i>	Hall's Japanese Honeysuckle	1 gal	L
<i>Trachelospermum jasminoides</i>	Star Jasmine	1 gal	M



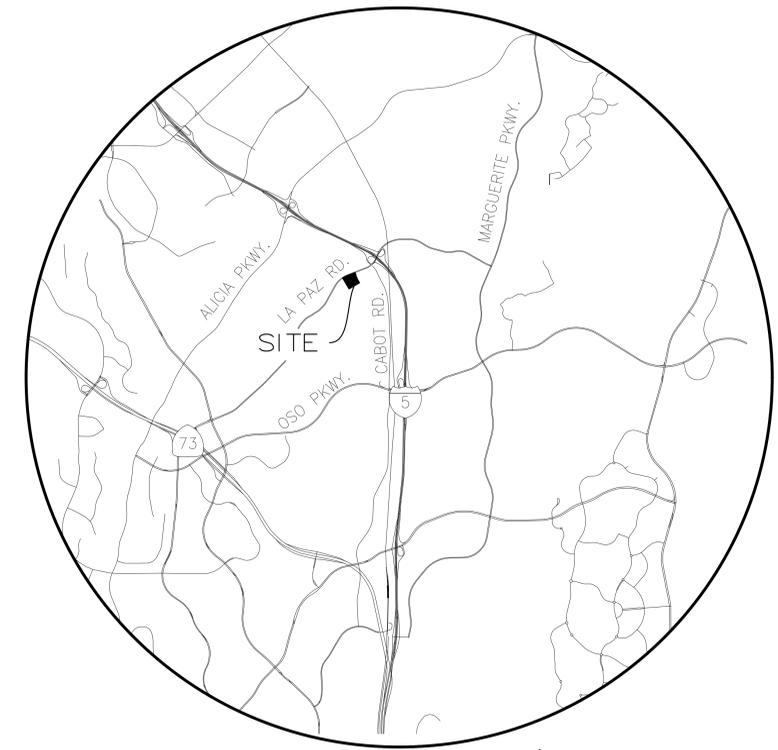
# CITY OF LAGUNA HILLS

## PRELIMINARY LIGHTING LAYOUT PLAN

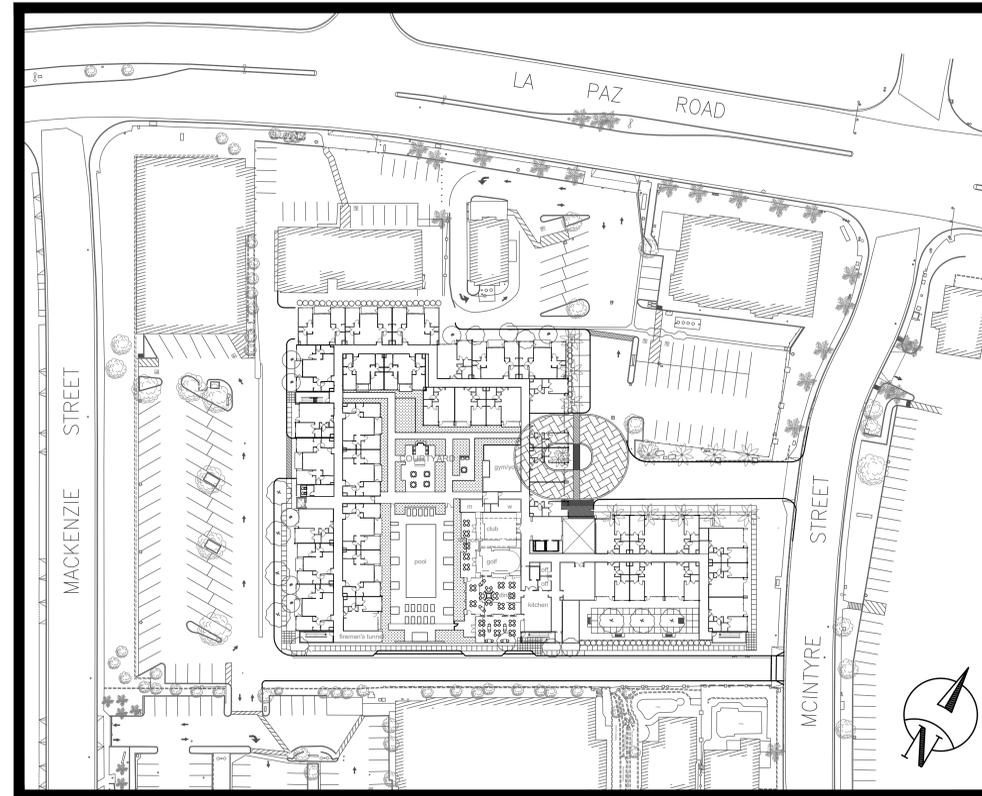
for

### LA PAZ VILLAGE SENIOR LIVING PROPOSED SENIOR LIVING FACILITY

25250-25260 LA PAZ ROAD  
LAGUNA HILLS, CA 92653



**VICINITY MAP**  
N.T.S.



**SITE LOCATION MAP**  
N.T.S.

**LIGHTING GENERAL NOTES:**

1. ALL WORK SHALL COMPLY WITH THE CURRENT PROJECT SPECIAL PROVISIONS, THE CITY OF LAGUNA HILLS MUNICIPAL CODE, THE NATIONAL ELECTRICAL CODE (NEC), THE ILLUMINATING ENGINEERING SOCIETY (IES) RP-8, THE CALIFORNIA STATE SAFETY ORDER, AND ALL OTHER CODES, ORDINANCES, RULES, AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL PAY ALL FEES AND OBTAIN ALL NECESSARY PERMITS AS REQUIRED FROM THE CITY OF LAGUNA HILLS AND PER UTILITY COMPANY REQUIREMENTS.
3. MATERIALS SHALL BE RECOGNIZED BY THE UNDERWRITER'S LABORATORY, INC., AS HAVING SUITABLE CHARACTERISTICS WHEN PROPERLY FORMED AND TREATED, INCLUDING RIGID POLYVINYL CHLORIDE (PVC) CONDUIT.
4. ALL WORK RELATED TO ELECTRICAL SERVICE SHALL BE PERFORMED IN CONFORMANCE WITH SAN DIEGO GAS & ELECTRIC COMPANY (SDG&E) REQUIREMENTS AND THE CITY OF LAGUNA HILLS.

**SHEET LEGEND:**

SHEET	DESCRIPTION
1	PRELIMINARY LIGHTING LAYOUT PLAN LA PAZ VILLAGE SENIOR LIVING PROPOSED SENIOR LIVING FACILITY TITLE SHEET
2	PRELIMINARY LIGHTING LAYOUT PLAN LA PAZ VILLAGE SENIOR LIVING PARKING GARAGE BASEMENT
3	PHOTOMETRIC EVALUATION LA PAZ VILLAGE SENIOR LIVING PARKING GARAGE BASEMENT
4	PRELIMINARY LIGHTING LAYOUT PLAN LA PAZ VILLAGE SENIOR LIVING PARKING GARAGE GROUND LEVEL
5	PHOTOMETRIC EVALUATION LA PAZ VILLAGE SENIOR LIVING PARKING GARAGE GROUND LEVEL
6	PRELIMINARY LIGHTING LAYOUT PLAN LA PAZ VILLAGE SENIOR LIVING EXTERIOR GROUND LEVEL
7	PHOTOMETRIC EVALUATION LA PAZ VILLAGE SENIOR LIVING EXTERIOR GROUND LEVEL
8	PHOTOMETRIC EVALUATION LA PAZ VILLAGE SENIOR LIVING EXTERIOR GROUND LEVEL COURTYARD
9	PRELIMINARY LIGHTING LAYOUT PLAN LA PAZ VILLAGE SENIOR LIVING EXTERIOR LEVEL 2 COURTYARD
10	PHOTOMETRIC EVALUATION LA PAZ VILLAGE SENIOR LIVING EXTERIOR LEVEL 2 COURTYARD
11	PRELIMINARY LIGHTING LAYOUT PLAN LA PAZ VILLAGE SENIOR LIVING LIGHTING FIXTURE DETAILS
12	PRELIMINARY LIGHTING LAYOUT PLAN LA PAZ VILLAGE SENIOR LIVING LIGHTING FIXTURE DETAILS
13	PRELIMINARY LIGHTING LAYOUT PLAN LA PAZ VILLAGE SENIOR LIVING LIGHTING FIXTURE DETAILS

**LIGHTING SCHEDULE:**

CALLOUT	SYMBOL	IMAGE	MODEL#	LAMP TYPE/LUMENS/CCT/WATTAGE	DESCRIPTION	MNTG/HGHT	QUANTITY (TOTAL)
(A)			METALUX 8TSNX-LC-UNV-LB30-1	LED/14,382/3000K/95.8W	LINEAR LED CIELING MOUNT, PARKING GARAGE	CIELING/±16'	101
(B)			LUMARK RPGC25S	LED/7,811/4000K/60W	ROUND CIELING MOUNT, PARKING GARAGE ENTRY	CIELING/±16'	21
(C)			McGRAW-EDISON GWC-SA2-A-740-U-T2	LED/9,543/4000K/66W	WALL MOUNTED, SCONCE	WALL/±8'	12
(D)			McGRAW-EDISON GLEON-SA2A-830-U-T3-MA1037-XX	LED/15,789/3000K/129W	PARKING LOT LIGHTING, SINGLE 4' ARM	POLE/16'	13
(E)			INVUE ABW-B1-LED-D1-A	LED/499/3000K/11W	WALL MOUNTED, SCONCE	POLE/23'	37
(F)			ELA# BOL5020R-45-V5-40LED-30-240-CA-AG	LED/3,482/3000K/40W	PATHWAY BOLLARD	SURFACE/46"	2
(G)			INVUE CPB-VA1-42-830-U-AD	LED/467/3000K/22.7W	PATHWAY BOLLARD	SURFACE/38"	19

**DEVELOPER:**

CAPE POINT DEVELOPMENT, LLC  
1010 S. EL CAMINO REAL, SUITE 200  
SAN CLEMENTE, CA 92672  
T (949) 441-7442  
NICK BUCHANAN

**SITE ADDRESS:**

25250-25260 LA PAZ ROAD  
LAGUNA HILLS, CA 92653

**UTILITY PURVEYORS:**

**WATER**  
MOULTON NIGUEL WATER DISTRICT (MNWD)  
(949) 831-2500

**SEWER**  
MOULTON NIGUEL WATER DISTRICT (MNWD)  
(949) 831-2500

**ELECTRICITY**  
SAN DIEGO GAS & ELECTRIC COMPANY (SDG&E)  
(800) 411-7343

**GAS**  
SOCAL GAS  
(800) 411-7343

**PHONE/INTERNET**  
COX  
(800) 261-4021

REVISIONS				
NO.	DATE	INITIAL	DESCRIPTION	APP. DATE

**OWNER & DEVELOPER :**

**CAPE POINT DEVELOPMENT, LLC**  
1010 S. EL CAMINO REAL, SUITE 200  
SAN CLEMENTE, CA 92672  
PHONE (949) 441-7442

**PREPARED BY :**

**TJW ENGINEERING, INC.**  
Traffic Engineering & Transportation Planning Consultants  
9841 Irvine Center Drive, Suite 200, Irvine, CA 92618  
t: (949) 878-3509 f: (949) 878-3593  
www.tjwengineering.com

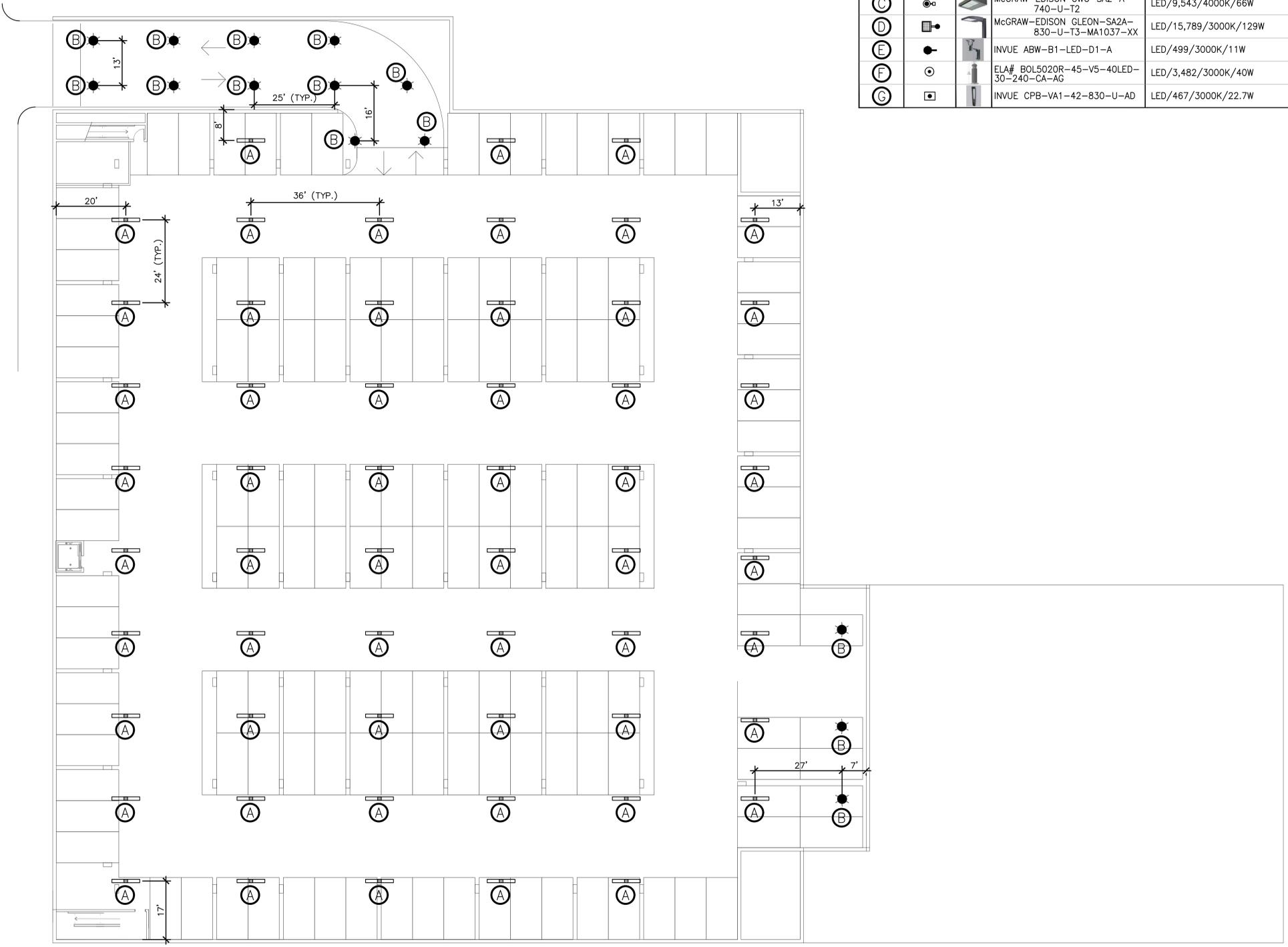
**LA PAZ VILLAGE SENIOR LIVING**  
25250-25260 LA PAZ ROAD  
PRELIMINARY LIGHTING LAYOUT PLAN  
TITLE SHEET

DATE: 3/15/24  
SHEET 1 OF 13

SCALE: AS SHOWN    DRAWN BY: JS    CHECKED BY: TJW

**CITY OF LAGUNA HILLS**

**NOT FOR CONSTRUCTION**



**LIGHTING SCHEDULE:**

CALLOUT	SYMBOL	IMAGE	MODEL#	LAMP TYPE/LUMENS/CCT/WATTAGE	DESCRIPTION	MNTG/HGHT	QUANTITY (TOTAL)
(A)			METALUX 8TSNX-LC-UNV-L830-1	LED/14,382/3000K/95.8W	LINEAR LED CIELING MOUNT, PARKING GARAGE	CIELING/±16'	101
(B)			LUMARK RPGC25S	LED/7,811/4000K/60W	ROUND CIELING MOUNT, PARKING GARAGE ENTRY	CIELING/±16'	21
(C)			McGRAW-EDISON GWC-SA2-A-740-U-T2	LED/9,543/4000K/66W	WALL MOUNTED, SCONCE	WALL/±8'	12
(D)			McGRAW-EDISON GLEON-SA2A-830-U-T3-MA1037-XX	LED/15,789/3000K/129W	PARKING LOT LIGHTING, SINGLE 4' ARM	POLE/16'	13
(E)			INVUE ABW-B1-LED-D1-A	LED/499/3000K/11W	WALL MOUNTED, SCONCE	POLE/23'	37
(F)			ELA# BOL5020R-45-V5-40LED-30-240-CA-AG	LED/3,482/3000K/40W	PATHWAY BOLLARD	SURFACE/46"	2
(G)			INVUE CPB-VA1-42-830-U-AD	LED/467/3000K/22.7W	PATHWAY BOLLARD	SURFACE/38"	19

**NOT FOR CONSTRUCTION**

**BASEMENT LEVEL: PARKING GARAGE**

REVISIONS				
NO.	DATE	INITIAL	DESCRIPTION	APP. DATE

OWNER & DEVELOPER :  
**CAPE POINT DEVELOPMENT, LLC**  
 1010 S. EL CAMINO REAL, SUITE 200  
 SAN CLEMENTE, CA 92672  
 PHONE (949) 447-7442

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 www.tjwengineering.com



LA PAZ VILLAGE SENIOR LIVING  
 25250-25280 LA PAZ ROAD  
 PRELIMINARY LIGHTING LAYOUT PLAN  
 PARKING GARAGE BASEMENT

DATE: 3/15/24  
 SHEET 2 OF 13

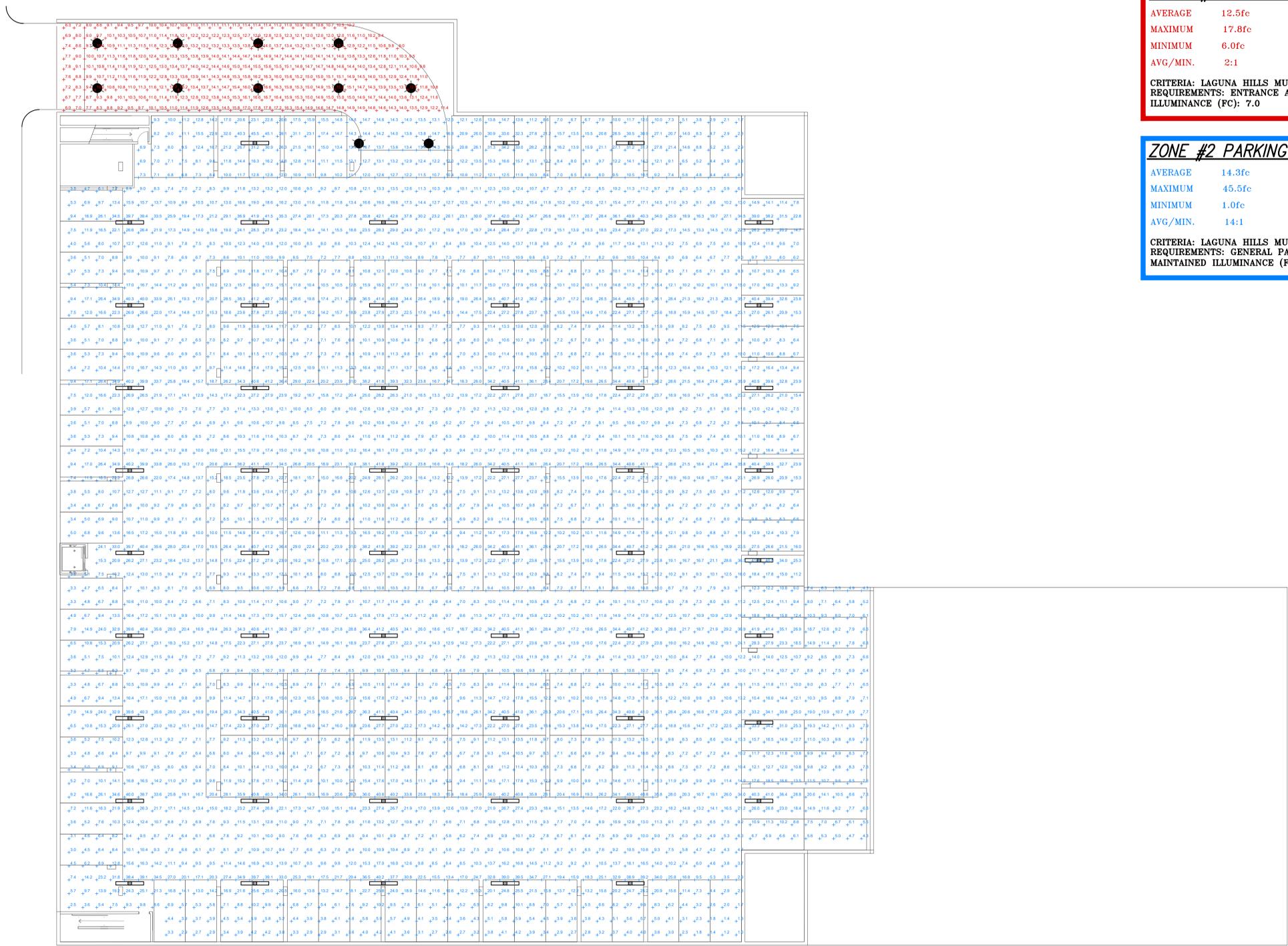
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**CITY OF LAGUNA HILLS**



NOT FOR CONSTRUCTION

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**ZONE #1 PARKING GARAGE ENTRY:**

AVERAGE 12.5fc  
 MAXIMUM 17.8fc  
 MINIMUM 6.0fc  
 AVG./MIN. 2:1

CRITERIA: LAGUNA HILLS MUNICIPAL CODE 9-44.060.I  
 REQUIREMENTS: ENTRANCE AVERAGE MAINTAINED  
 ILLUMINANCE (FC): 7.0

**ZONE #2 PARKING GARAGE GENERAL:**

AVERAGE 14.3fc  
 MAXIMUM 45.5fc  
 MINIMUM 1.0fc  
 AVG./MIN. 14:1

CRITERIA: LAGUNA HILLS MUNICIPAL CODE 9-44.060.I  
 REQUIREMENTS: GENERAL PARKING AVERAGE  
 MAINTAINED ILLUMINANCE (FC): 5.0



N.T.S.  
PLOT: 30"X42"

BASEMENT LEVEL: PARKING GARAGE

REVISIONS					
NO.	DATE	INITIAL	DESCRIPTION	APP	DATE

OWNER & DEVELOPER :

CAPE POINT DEVELOPMENT, LLC  
 1010 S. EL CAMINO REAL, SUITE 200  
 SAN CLEMENTE, CA 92672  
 PHONE (949) 447-7442

PREPARED BY :

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 www.tjwengineering.com



LA PAZ VILLAGE SENIOR LIVING  
 25250-25260 LA PAZ ROAD  
 PHOTOMETRIC EVALUATION  
 PARKING GARAGE BASEMENT

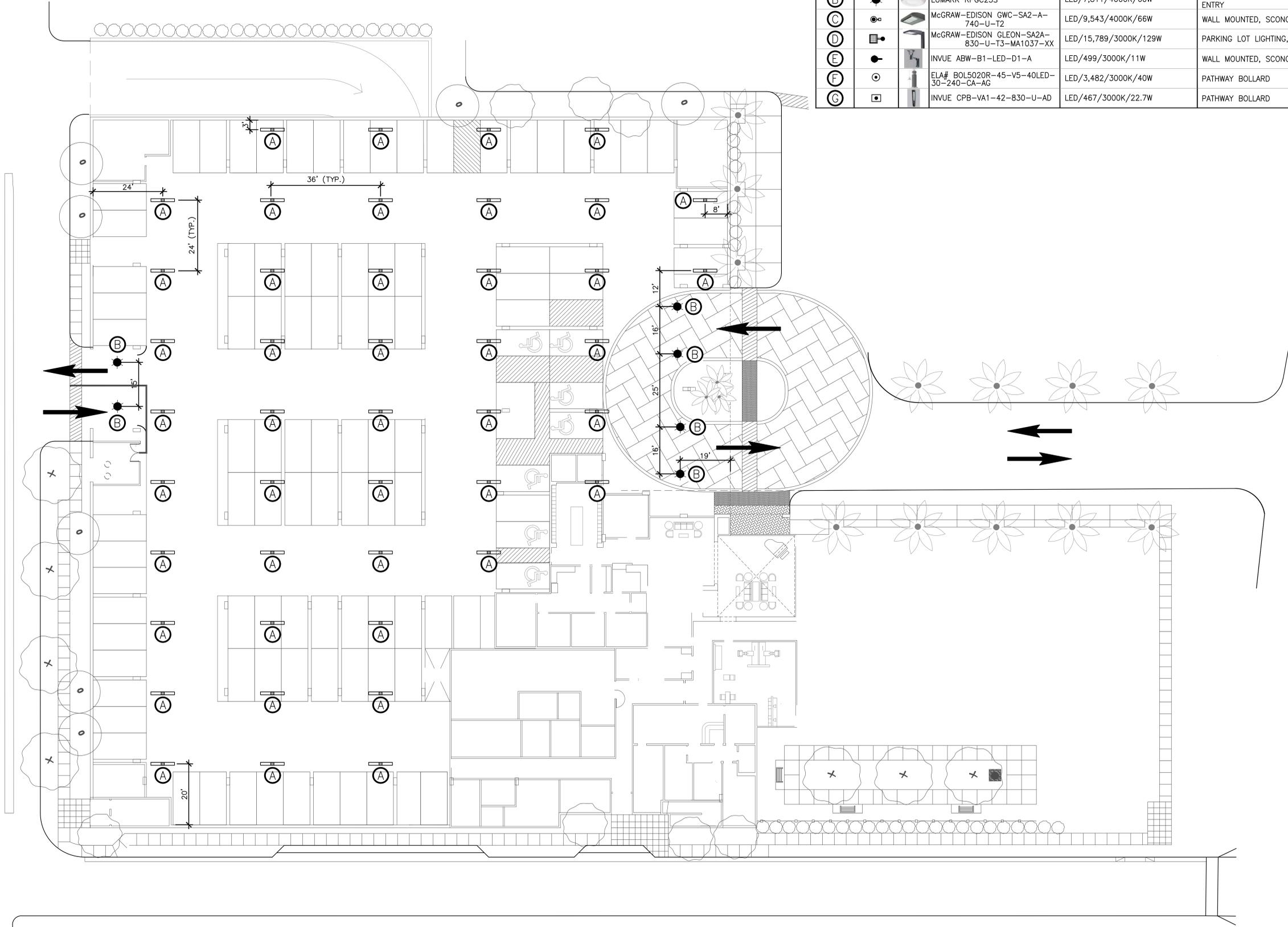
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CITY OF LAGUNA HILLS

DATE: 3/15/24  
 SHEET 3 OF 13

**LIGHTING SCHEDULE:**

CALLOUT	SYMBOL	IMAGE	MODEL#	LAMP TYPE/LUMENS/CCT/WATTAGE	DESCRIPTION	MNTG/HGHT	QUANTITY (TOTAL)
(A)			METALUX 8TSNX-LC-UNV-L830-1	LED/14,382/3000K/95.8W	LINEAR LED CIELING MOUNT, PARKING GARAGE	CIELING/±16'	101
(B)			LUMARK RPGC25S	LED/7,811/4000K/60W	ROUND CIELING MOUNT, PARKING GARAGE ENTRY	CIELING/±16'	21
(C)			McGRAW-EDISON GWC-SA2-A-740-U-T2	LED/9,543/4000K/66W	WALL MOUNTED, SCONCE	WALL/±8'	12
(D)			McGRAW-EDISON GLEON-SA2A-830-U-T3-MA1037-XX	LED/15,789/3000K/129W	PARKING LOT LIGHTING, SINGLE 4' ARM	POLE/16'	13
(E)			INVUE ABW-B1-LED-D1-A	LED/499/3000K/11W	WALL MOUNTED, SCONCE	POLE/23'	37
(F)			ELA# BOL5020R-45-V5-40LED-30-240-CA-AG	LED/3,482/3000K/40W	PATHWAY BOLLARD	SURFACE/46"	2
(G)			INVUE CPB-VA1-42-830-U-AD	LED/467/3000K/22.7W	PATHWAY BOLLARD	SURFACE/38"	19



**NOT FOR CONSTRUCTION**

User: johnstallworth File Name: C:\Users\johnstallworth\TJW Projects (2)\Projects - C\CPD Projects\CPD24001 La Paz Senior Living St. Acng Plot Date: 03/15/2024 2:53:32 PM Last Update: 3/18/2024 2:48:43 PM



N.T.S.  
PLOT: 30"x42"

**GROUND LEVEL: PARKING GARAGE**

REVISIONS				
NO.	DATE	INITIAL	DESCRIPTION	APP. DATE

OWNER & DEVELOPER :  
**CAPE POINT DEVELOPMENT, LLC**  
1010 S. EL CAMINO REAL, SUITE 200  
SAN CLEMENTE, CA 92672  
PHONE (949) 447-7442

PREPARED BY :  
  
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LA PAZ VILLAGE SENIOR LIVING  
25250-25280 LA PAZ ROAD  
PRELIMINARY LIGHTING LAYOUT PLAN  
PARKING GARAGE GROUND LEVEL

DATE: 3/15/24  
SHEET 4 OF 13

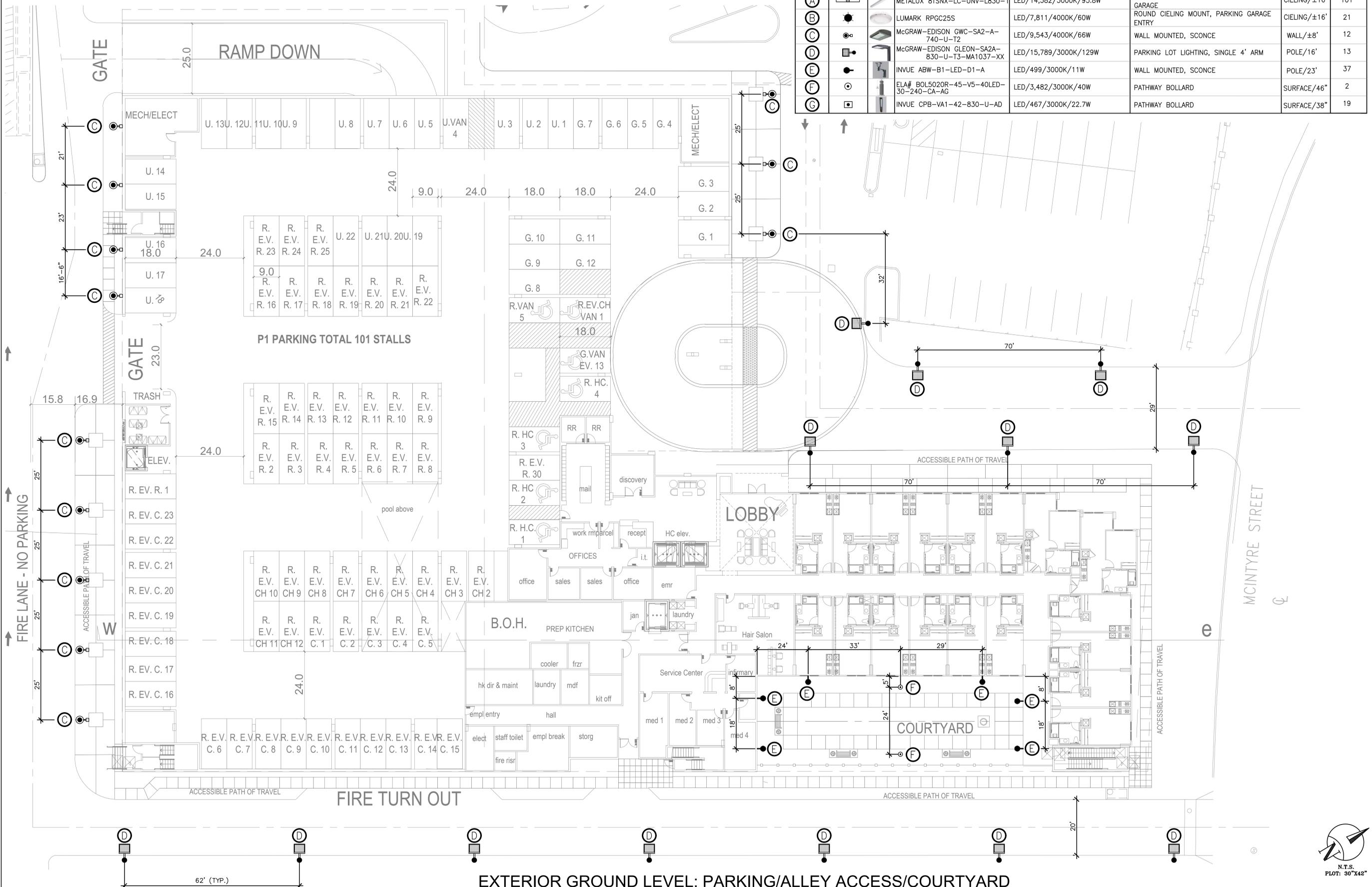
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**CITY OF LAGUNA HILLS**



**LIGHTING SCHEDULE:**

CALLOUT	SYMBOL	IMAGE	MODEL#	LAMP TYPE/LUMENS/CCT/WATTAGE	DESCRIPTION	MNTG/HGHT	QUANTITY (TOTAL)
(A)			METALUX 8TSNX-LC-UNV-L830-1	LED/14,382/3000K/95.8W	LINEAR LED CIELING MOUNT, PARKING GARAGE	CIELING/±16'	101
(B)			LUMARK RPGC25S	LED/7,811/4000K/60W	ROUND CIELING MOUNT, PARKING GARAGE ENTRY	CIELING/±16'	21
(C)			McGRAW-EDISON GWC-SA2-A-740-U-T2	LED/9,543/4000K/66W	WALL MOUNTED, SCONCE	WALL/±8'	12
(D)			McGRAW-EDISON GLEON-SA2A-830-U-T3-MA1037-XX	LED/15,789/3000K/129W	PARKING LOT LIGHTING, SINGLE 4' ARM	POLE/16'	13
(E)			INVUE ABW-B1-LED-D1-A	LED/499/3000K/11W	WALL MOUNTED, SCONCE	POLE/23'	37
(F)			ELA# BOL5020R-45-V5-40LED-30-240-CA-AG	LED/3,482/3000K/40W	PATHWAY BOLLARD	SURFACE/46"	2
(G)			INVUE CPB-VA1-42-830-U-AD	LED/467/3000K/22.7W	PATHWAY BOLLARD	SURFACE/38"	19



**NOT FOR CONSTRUCTION**

**EXTERIOR GROUND LEVEL: PARKING/ALLEY ACCESS/COURTYARD**

REVISIONS				
NO.	DATE	INITIAL	DESCRIPTION	APP. DATE

OWNER & DEVELOPER :  
**CAPE POINT DEVELOPMENT, LLC**  
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LA PAZ VILLAGE SENIOR LIVING  
 25250-25280 LA PAZ ROAD  
 PRELIMINARY LIGHTING LAYOUT PLAN  
 EXTERIOR GROUND LEVEL

DATE: 3/15/24  
 SHEET 6 OF 13

SCALE: AS SHOWN    DRAWN BY: JS    CHECKED BY: TJW

**CITY OF LAGUNA HILLS**

Plot Date: 03/15/2024 2:54:03 PM    User: johnstallworth    File Name: C:\Users\JohnStallworth\TJW Engineering Inc. Dropbox\John Stallworth\TJW Projects (2)\Projects --C\CPD Projects\CPD24001 La Paz Senior Living St. Achg    Last Update: 3/18/2024 2:48:43 PM

NOT FOR CONSTRUCTION

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**ZONE #1 FRONT ENTRANCE:**

AVERAGE 8.8fc  
 MAXIMUM 14.9fc  
 MINIMUM 0.3fc  
 AVG/MIN. 29:1

CRITERIA: LAGUNA HILLS MUNICIPAL CODE 9-44.060.I  
 REQUIREMENTS: GENERAL PARKING/VEHICLE ACCESS  
 AVERAGE MAINTAINED ILLUMINANCE (FC): 1.0

**ZONE #2 SIDE ALLEY WAY:**

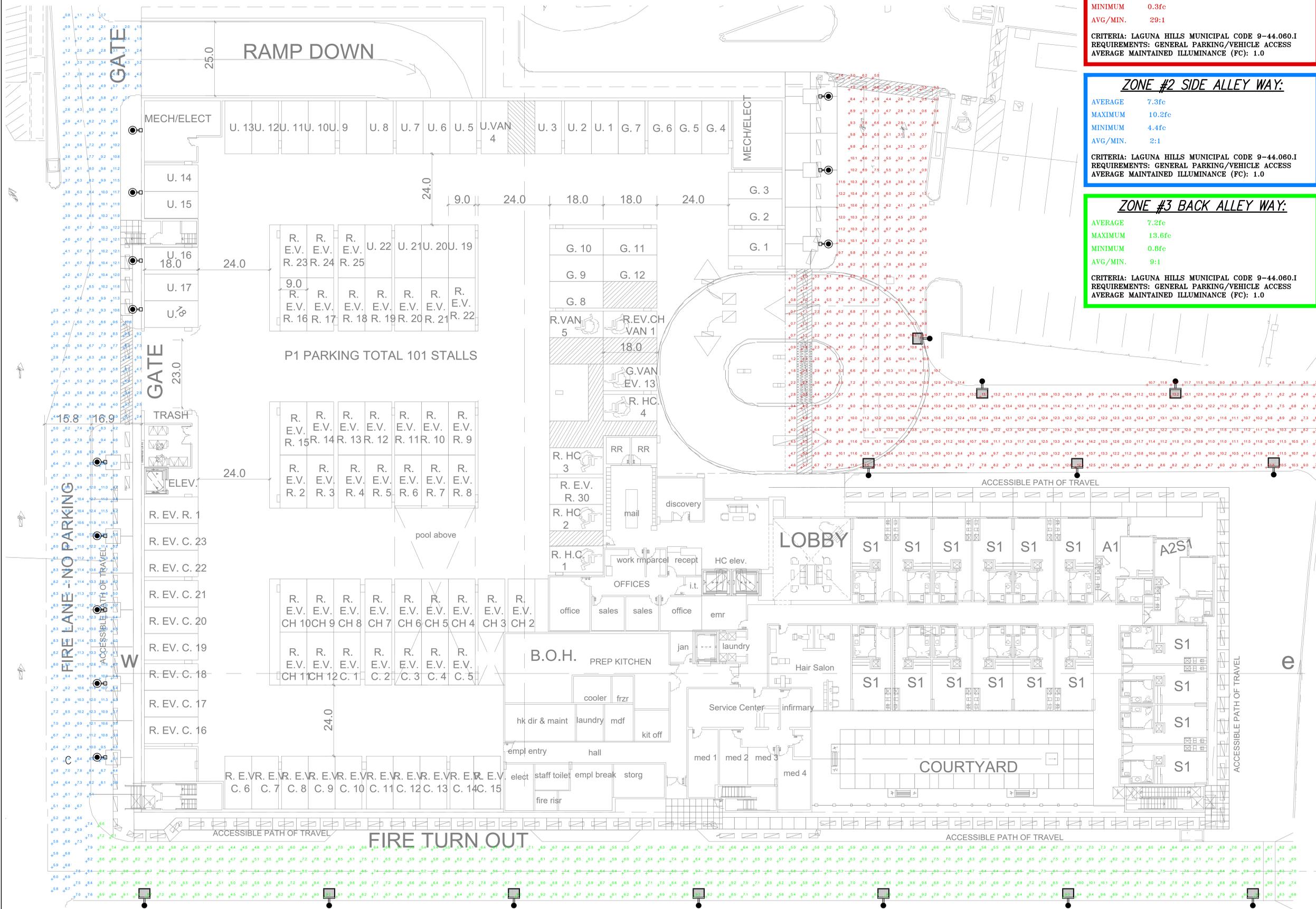
AVERAGE 7.3fc  
 MAXIMUM 10.2fc  
 MINIMUM 4.4fc  
 AVG/MIN. 2:1

CRITERIA: LAGUNA HILLS MUNICIPAL CODE 9-44.060.I  
 REQUIREMENTS: GENERAL PARKING/VEHICLE ACCESS  
 AVERAGE MAINTAINED ILLUMINANCE (FC): 1.0

**ZONE #3 BACK ALLEY WAY:**

AVERAGE 7.2fc  
 MAXIMUM 13.6fc  
 MINIMUM 0.8fc  
 AVG/MIN. 9:1

CRITERIA: LAGUNA HILLS MUNICIPAL CODE 9-44.060.I  
 REQUIREMENTS: GENERAL PARKING/VEHICLE ACCESS  
 AVERAGE MAINTAINED ILLUMINANCE (FC): 1.0



EXTERIOR GROUND LEVEL: PARKING/ALLEY ACCESS/COURTYARD



N.T.S. PLOT: 30"x42"

REVISIONS			
NO.	DATE	INITIAL	DESCRIPTION

OWNER & DEVELOPER :

**CAPE POINT DEVELOPMENT, LLC**  
 1010 S. EL CAMINO REAL, SUITE 200  
 SAN CLEMENTE, CA 92672  
 PHONE (949) 447-7442

PREPARED BY :

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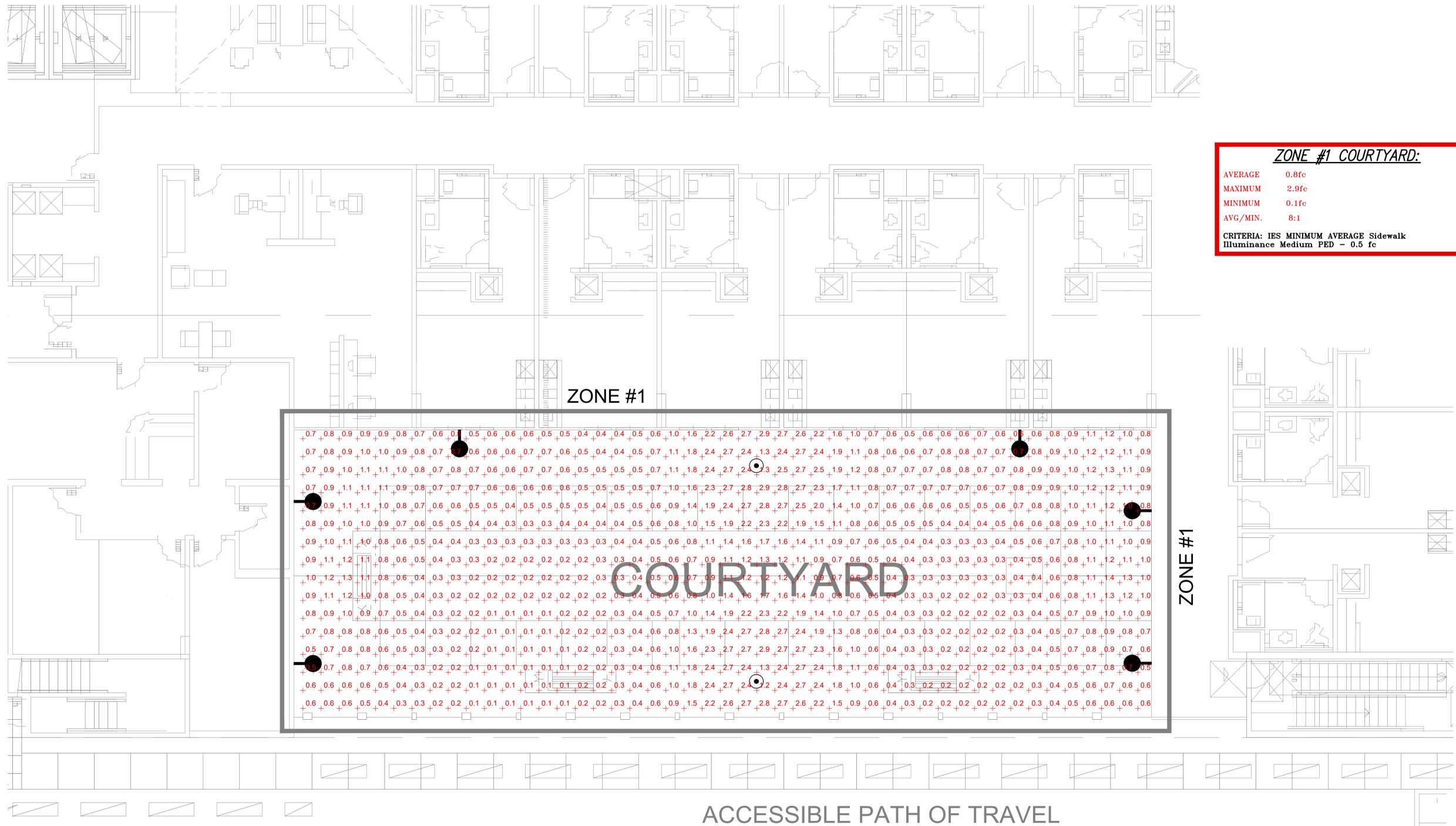


LA PAZ VILLAGE SENIOR LIVING  
 25250-25260 LA PAZ ROAD  
 PHOTOMETRIC EVALUATION  
 EXTERIOR GROUND LEVEL

SCALE: AS SHOWN DRAWN BY: JS CHECKED BY: TJW

CITY OF LAGUNA HILLS

DATE: 3/15/24  
 SHEET 7 OF 13



ZONE #1 COURTYARD:	
AVERAGE	0.8fc
MAXIMUM	2.9fc
MINIMUM	0.1fc
AVG/MIN.	8:1
CRITERIA: IES MINIMUM AVERAGE Sidewalk Illuminance Medium PED - 0.5 fc	

NOT FOR CONSTRUCTION

User: johnStalworth File Name: C:\Users\johnStalworth\TJW Projects (2)\Projects - C\CPD Projects\CPD04001 La Paz Senior Living St. Arch Lost Update: 3/18/2024 2:48:43 PM Plot Date: 03/15/2024 2:54:57 PM

**GROUND LEVEL: COURTYARD**

REVISIONS					
NO.	DATE	INITIAL	DESCRIPTION	APP	DATE

OWNER & DEVELOPER :  
**CAPE POINT DEVELOPMENT, LLC**  
1010 S. EL CAMINO REAL, SUITE 200  
SAN CLEMENTE, CA 92672  
PHONE (949) 447-7442

PREPARED BY :  
 **TJW ENGINEERING, INC.**  
Traffic Engineering & Transportation Planning Consultants  
9841 Irvine Center Drive, Suite 200, Irvine, CA 92618  
t: (949) 878-3509 f: (949) 878-3593  
www.tjwengineering.com



**LA PAZ VILLAGE SENIOR LIVING**  
25250-25260 LA PAZ ROAD  
PHOTOMETRIC EVALUATION  
GROUND LEVEL COURTYARD

SCALE: AS SHOWN DRAWN BY: JS CHECKED BY: TJW

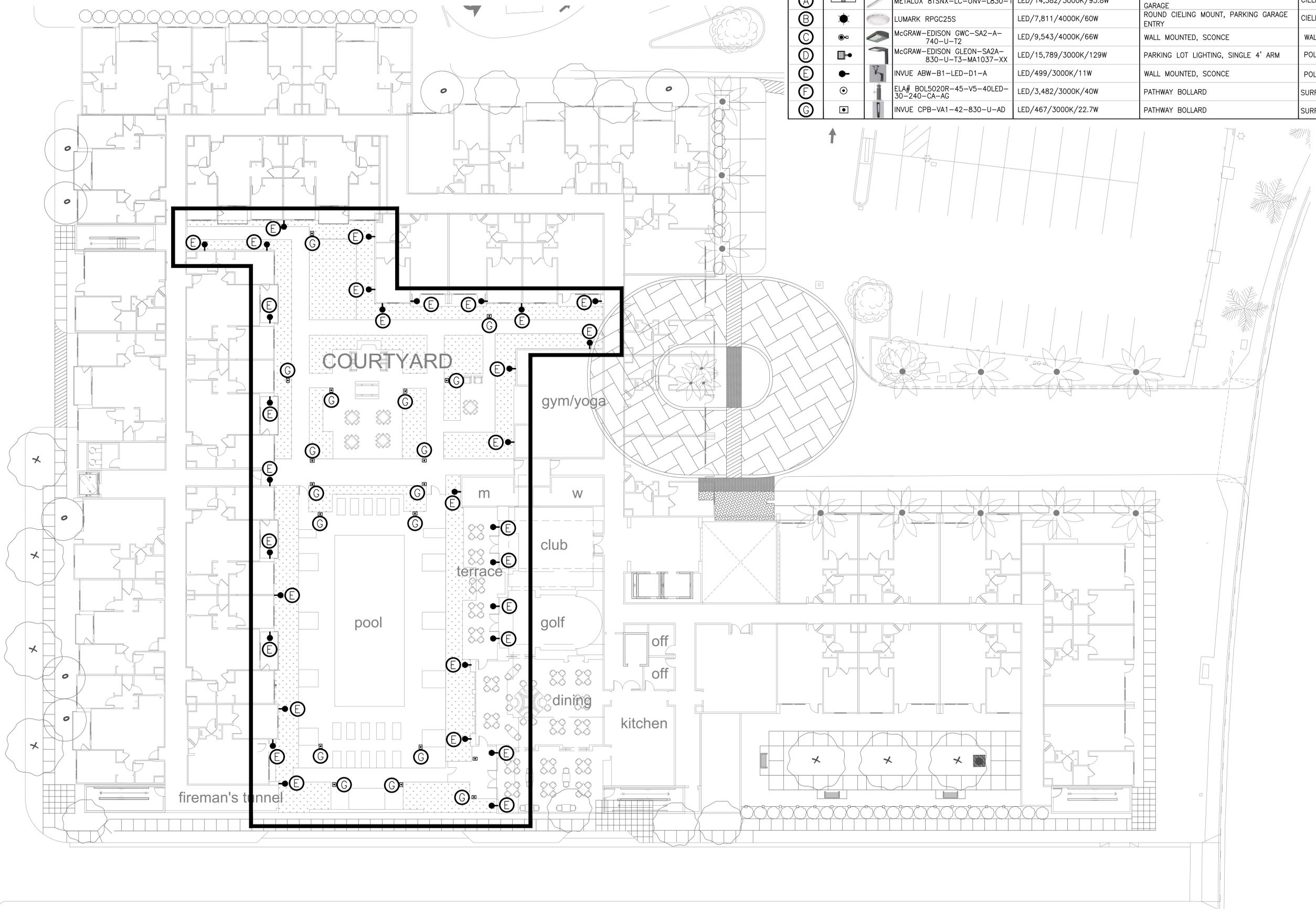
**CITY OF LAGUNA HILLS**

DATE: 3/15/24  
SHEET 8 OF 13



LIGHTING SCHEDULE:

CALLOUT	SYMBOL	IMAGE	MODEL#	LAMP TYPE/LUMENS/CCT/WATTAGE	DESCRIPTION	MNTG/HGHT	QUANTITY (TOTAL)
(A)			METALUX 8TSNX-LC-UNV-L830-1	LED/14,382/3000K/95.8W	LINEAR LED CIELING MOUNT, PARKING GARAGE	CIELING/±16'	101
(B)			LUMARK RPGC25S	LED/7,811/4000K/60W	ROUND CIELING MOUNT, PARKING GARAGE ENTRY	CIELING/±16'	21
(C)			McGRAW-EDISON GWC-SA2-A-740-U-T2	LED/9,543/4000K/66W	WALL MOUNTED, SCONCE	WALL/±8'	12
(D)			McGRAW-EDISON GLEON-SA2A-830-U-T3-MA1037-XX	LED/15,789/3000K/129W	PARKING LOT LIGHTING, SINGLE 4' ARM	POLE/16'	13
(E)			INVUE ABW-B1-LED-D1-A	LED/499/3000K/11W	WALL MOUNTED, SCONCE	POLE/23'	37
(F)			ELA# BOL5020R-45-V5-40LED-30-240-CA-AG	LED/3,482/3000K/40W	PATHWAY BOLLARD	SURFACE/46"	2
(G)			INVUE CPB-VA1-42-830-U-AD	LED/467/3000K/22.7W	PATHWAY BOLLARD	SURFACE/38"	19



NOT FOR CONSTRUCTION

User: johnstallworth File Name: C:\Users\johnstallworth\TJW Projects (2)\Projects --C\CPD Projects\CPD24001 La Paz Senior Living St. Arch Lost Update: 3/18/2024 2:48:43 PM Plot Date: 03/15/2024 2:56:40 PM



EXTERIOR LEVEL 2: COURTYARD/POOL

REVISIONS				
NO.	DATE	INITIAL	DESCRIPTION	APP. DATE

OWNER & DEVELOPER :  
**CAPE POINT DEVELOPMENT, LLC**  
 1010 S. EL CAMINO REAL, SUITE 200  
 SAN CLEMENTE, CA 92672  
 PHONE (949) 447-7442

PREPARED BY :  
  
**TJW ENGINEERING, INC.**  
 Traffic Engineering & Transportation Planning Consultants  
 9841 Irvine Center Drive, Suite 200, Irvine, CA 92618  
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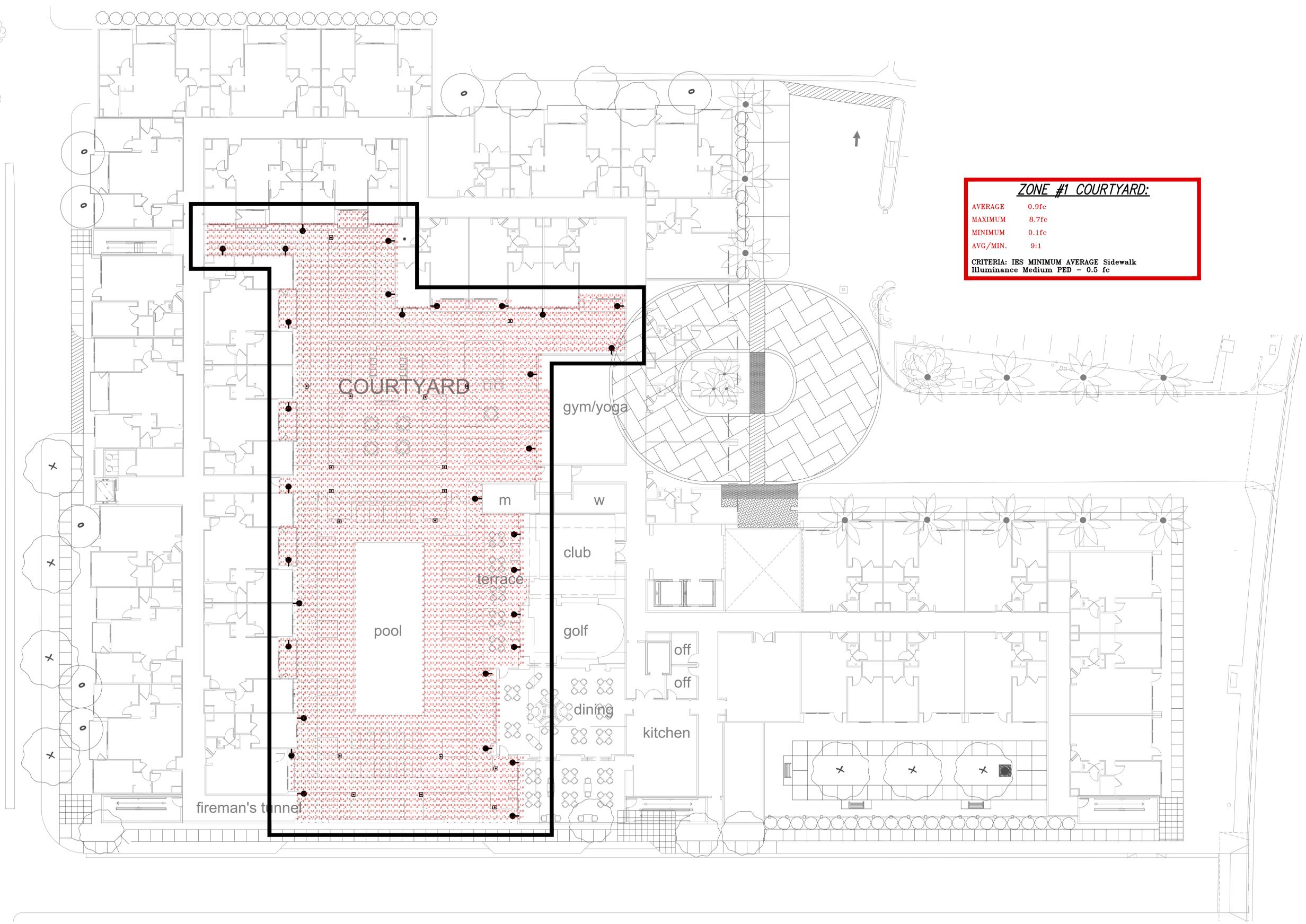


LA PAZ VILLAGE SENIOR LIVING  
 25250-25280 LA PAZ ROAD  
 PRELIMINARY LIGHTING LAYOUT PLAN  
 EXTERIOR LEVEL 2 COURTYARD

DATE: 3/15/24  
 SHEET 9 OF 13

SCALE: AS SHOWN    DRAWN BY: JS    CHECKED BY: TJW

**CITY OF LAGUNA HILLS**



**EXTERIOR LEVEL 2: COURTYARD/POOL**

REVISIONS				
NO.	DATE	INITIAL	DESCRIPTION	APP. DATE

OWNER & DEVELOPER :

**CAPE POINT DEVELOPMENT, LLC**  
 1010 S. EL CAMINO REAL, SUITE 200  
 SAN CLEMENTE, CA 92672  
 PHONE (949) 447-7442

PREPARED BY :

**TJW ENGINEERING, INC.**  
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LA PAZ VILLAGE SENIOR LIVING  
 25250 - 25260 LA PAZ ROAD  
 PHOTOMETRIC EVALUATION  
 EXTERIOR LEVEL 2 COURTYARD

DATE: 3/15/24  
 SHEET 10 OF 13

SCALE: AS SHOWN DRAWN BY: JS CHECKED BY: TJW

**CITY OF LAGUNA HILLS**





Project	Catalog #	Type
Prepared by	Notes	Date



## McGraw-Edison GWC Galleon Wall

Wall Mount Luminaire

### Typical Applications

Exterior Wall • Walkway

### Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Optical Configurations page 3
- Energy and Performance Data page 4
- Control Options page 6

### Product Certifications



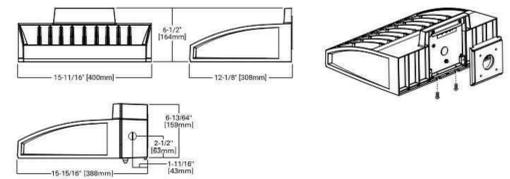
### Connected Systems

- WaveLinx
- Enlighted

### Quick Facts

- Choice of thirteen high-efficiency, patented AccuLED Optics™
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

### Dimensional Details



PSS00046EN page 1  
January 7, 2021 10:56 AM

## McGraw-Edison GWC Galleon Wall

Ordering Information  
SAMPLE NUMBER: GWC-SA2C-740-U-T4FT-GM

Product Family	Configuration	Drive Current	Color Temperature	Voltage	Distribution	Finish
GWC Galleon Wall	SA1-1 Square SA2-2 Square*	A-150mA	722-70CR, 2200K	0-120/277V	T2-Type II	AP-Drey
		B-400mA	722-70CR, 2200K	2-120V	T3-Type III	EC-Enclave
		C-1000mA	720-70CR, 2000K	2-120V	T4FT-Type IV Forward Throw	BB-Black
		D-1200mA	720-70CR, 2000K	2-120V	T5-Type V Wall	BP-Black Platinum
			740-70CR, 4000K	4-127V	SL2-Type II w/Soft Control	GM-Graphite Metallic
			740-70CR, 4000K	4-127V	SL3-Type III w/Soft Control	WW-White
			740-70CR, 4000K	8-254V	SL4-Type IV w/Soft Control	
			740-70CR, 4000K	8-254V	SL5-Type V w/Soft Control	
			825-40CR, 2200K	0-120/277V	SL6-Type VI w/Soft Control	
			830-80CR, 3000K		SL7-Type VII w/Soft Control	
	AMB-Ambus, 2000m		SL8-Type VIII w/Soft Control			

Options (Add to Order)	Control and System Options (Add to Order)	Accessories (Order Separately)
<b>F-Factory Fused</b> (120, 277 or 347V. Must Specify Voltage) <b>FF-Double Fused</b> (208, 240 or 480V. Must Specify Voltage) <b>TR-10A Trip</b> (10A) <b>TR-15A Trip</b> (15A) <b>TR-20A Trip</b> (20A) <b>TR-30A Trip</b> (30A) <b>TR-40A Trip</b> (40A) <b>TR-50A Trip</b> (50A) <b>TR-60A Trip</b> (60A) <b>TR-75A Trip</b> (75A) <b>TR-100A Trip</b> (100A) <b>TR-150A Trip</b> (150A) <b>TR-200A Trip</b> (200A) <b>TR-250A Trip</b> (250A) <b>TR-300A Trip</b> (300A) <b>TR-350A Trip</b> (350A) <b>TR-400A Trip</b> (400A) <b>TR-450A Trip</b> (450A) <b>TR-500A Trip</b> (500A) <b>TR-550A Trip</b> (550A) <b>TR-600A Trip</b> (600A) <b>TR-650A Trip</b> (650A) <b>TR-700A Trip</b> (700A) <b>TR-750A Trip</b> (750A) <b>TR-800A Trip</b> (800A) <b>TR-850A Trip</b> (850A) <b>TR-900A Trip</b> (900A) <b>TR-950A Trip</b> (950A) <b>TR-1000A Trip</b> (1000A) <b>TR-1050A Trip</b> (1050A) <b>TR-1100A Trip</b> (1100A) <b>TR-1150A Trip</b> (1150A) <b>TR-1200A Trip</b> (1200A) <b>TR-1250A Trip</b> (1250A) <b>TR-1300A Trip</b> (1300A) <b>TR-1350A Trip</b> (1350A) <b>TR-1400A Trip</b> (1400A) <b>TR-1450A Trip</b> (1450A) <b>TR-1500A Trip</b> (1500A) <b>TR-1550A Trip</b> (1550A) <b>TR-1600A Trip</b> (1600A) <b>TR-1650A Trip</b> (1650A) <b>TR-1700A Trip</b> (1700A) <b>TR-1750A Trip</b> (1750A) <b>TR-1800A Trip</b> (1800A) <b>TR-1850A Trip</b> (1850A) <b>TR-1900A Trip</b> (1900A) <b>TR-1950A Trip</b> (1950A) <b>TR-2000A Trip</b> (2000A) <b>TR-2050A Trip</b> (2050A) <b>TR-2100A Trip</b> (2100A) <b>TR-2150A Trip</b> (2150A) <b>TR-2200A Trip</b> (2200A) <b>TR-2250A Trip</b> (2250A) <b>TR-2300A Trip</b> (2300A) <b>TR-2350A Trip</b> (2350A) <b>TR-2400A Trip</b> (2400A) <b>TR-2450A Trip</b> (2450A) <b>TR-2500A Trip</b> (2500A) <b>TR-2550A Trip</b> (2550A) <b>TR-2600A Trip</b> (2600A) <b>TR-2650A Trip</b> (2650A) <b>TR-2700A Trip</b> (2700A) <b>TR-2750A Trip</b> (2750A) <b>TR-2800A Trip</b> (2800A) <b>TR-2850A Trip</b> (2850A) <b>TR-2900A Trip</b> (2900A) <b>TR-2950A Trip</b> (2950A) <b>TR-3000A Trip</b> (3000A) <b>TR-3050A Trip</b> (3050A) <b>TR-3100A Trip</b> (3100A) <b>TR-3150A Trip</b> (3150A) <b>TR-3200A 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February 29, 2024

Sean Myers  
[smyers@proteallc.com](mailto:smyers@proteallc.com)

RE: Proposed Development located at La Paz Road 25260 Laguna Hills- La Paz Village Sr Housing (180 units)

Dear Customer:

Moulton Niguel Water District (MNWD) has investigated the proposed development at the above referenced location. A Will Serve Letter will be sent to the City of Laguna Hills, once Development plans have been reviewed and approved, and all required permitting steps are complete with MNWD Engineering. **This letter is not to be interpreted as MNWD's approval for a municipal Grading or Building permit.**

Moulton Niguel Water District will service the above-mentioned project for water, recycled, and wastewater service, and preliminary review suggests available water supply and sewer capacity to support the project. This project is completely within MNWD's boundaries. The availability of water service is subject to the suppliers of water to Moulton Niguel Water District continuing to honor their contractual obligation relative to the amount of water to be supplied. Moulton Niguel Water District can make no representations as to the future intention of said suppliers in this regard. This indication of MNWD's ability to serve the above-referenced project is conditional upon the following MNWD Permitting requirements:

#### Improvement Plans

Available capacity in the existing infrastructure will be determined once this development has received an Orange County Fire Authority (OCFA) Water Availability Form with required fire flows identified, and have this form submitted to the MNWD for processing. This will be used to assess whether water system upgrades/upsizing is required. **Water main upsizing and looping is anticipated for this location, sewer main upsizing is not anticipated for this location.** Additional items required for submittal from the developer or project manager are:

- **Recycled water shall be required for landscape irrigation. The development of the project is within an existing recycled water use site which spans over several different parcels/owners. Each owner will require a separate/dedicated irrigation meter. Each irrigation system will require a separate review and ultimately approval by the MNWD.**
- **The development impacts MNWD's existing 650 PZ water easement and facilities within the private property limits. Once new points of services are known, existing easements shall be quitclaimed and new easements shall be dedicated to the MNWD for operations and maintenance.**

- **There are other existing customers served off the water easement as mentioned above. Outages to existing customers is not allowed and must be addressed prior to demolishing the existing water lines.**
- **Fire flow requirements need to be addressed for the existing customers and the future development.**
- **The proposed development will need to upsize the water main along McIntyre Street, between La Paz Road and a point of connection approximately 400-ft south of the intersection. The new water pipeline shall be a minimum 12-inch diameter along the abovementioned limits.**
- **Confirm how the development will drain sanitary sewer. The proposed project shall not impede on-site sewer flows from the neighboring parcels. Provide on the next submittal the on-site private sanitary sewer layout to confirm.**
- **Confirm if the proposed project will be constructing a communal kitchen and if so MNWD will need to review for FOG (Fats Oils & Grease) compliance.**
- Completed Application for Water/Sewer Service
- Complete Insurance and Bonding Requirements per MNWD requirements.
- Provide site plans showing locations of proposed potable water connections for domestic use and fire suppression, recycled water connections for dedicated irrigation use, wastewater connections, and grading over existing facilities.
- Engineer's Estimate – materials and construction cost for facilities to be built and dedicated to the MNWD. This will be used to determine Plancheck and Inspection fees, and used for construction performance bonding if required.
- The plumbing system water demand (fixture unit count or gallons-per-minute calculation) from this project's licensed plumber or utility engineer. This information is utilized to assure that meters are properly sized to support the plumbing systems at the property.
- Provide plumbing plans.
- The fire suppression/sprinkler system water demand (gallons-per-minute calculation) from this project's Fire Suppression/Sprinkler System designer.
- Backflow installation on fire suppression lines and domestic services.
- Easement documents, and Title Report if applicable (if any facilities to be dedicated to the MNWD will be located on private property). Easement Encroachment Agreement required if any surface improvements are proposed within the MNWD easement.
- Irrigation plans. The proposed project will utilize recycled water in the landscaping.
- Completion of an OCFA Water Availability Form, and Proof of OCFA Review and Approval.
- Any proposed pool/spa shall have no direct connection to the wastewater system.
- All plans to be submitted to MNWD via PDF format.

### Fee Schedule

The fee schedule and applicable costs that may be required are as follows:

- Commercial, Residential, Irrigation



Meter Size	Water Capacity Fee	Wastewater Capacity Fee
¾"	\$2,405	\$1,597
1"	\$2,405	\$1,597
1.5"	\$4,810	\$3,195
2"	\$7,695	\$5,112
2.5"	\$12,265	\$8,147
3"	\$16,834	\$11,182
4"	\$30,301	\$20,128
6"	\$67,335	\$44,730
8"	\$115,432	\$76,680
10"	\$182,767	\$121,410

- Potable Irrigation- Residential Development \$1,479 per 1000 sq. ft. irrigated Non-Residential Development \$1,210 per 1000 sq. ft. irrigated
- Plan check and Inspection Fees- project will require an initial deposit outlined in Resolution 18-13.
- Construction Costs (both onsite and off-site improvements)
- The use of recycled water will be required for construction.

**Fees are subject to change.**

Record Drawings

As-Built Drawings of existing facilities will be provided once project design commences. Design Engineer or Project Manager may request these drawings on the District Website, at <http://mnwd.com/engineering/>.

MNWD will approve the plans after all remaining concerns have been addressed, easements are executed for facilities to be located on private property and after all applicable fees for this project are paid in full.

If you have any questions or require further assistance, please do not hesitate in contacting Sheldon Yu ([SYu@mnwd.com](mailto:SYu@mnwd.com)) at your earliest convenience.

Regards,

MOULTON NIGUEL WATER DISTRICT

*Mark H Mountford*

Mark H. Mountford, P.E.  
Engineering Manager



**APPENDIX H**  
**Environmental Information Form**

Date Filed 03/15/2024

**General Information**

1. Name and address of developer or project sponsor: La Paz Village Investors, LLC
2. Address of project: 25254 La Paz Rd, Laguna Hills, CA  
Assessor's Block and Lot Number: P-Book: 93 Page: 50 Par: 1 (APN: 620-211-17)
3. Name, address, and telephone number of person to be contacted concerning this project:  
Nick Buchanan - 949-441-7442, 1010 S El Camino Real, Ste 200, San Clemente, CA 92672
4. Indicate number of the permit application for the project to which this form pertains: 0417-2023
5. List and describe any other related permits and other public approvals required for this project, including those required by city, regional, state and federal agencies:  
None.
6. Existing zoning district: Community Commercial
7. Proposed use of site (Project for which this form is filed):  
180-unit senior living (55+ active adult)

**Project Description**

8. Site size. ~2.55 acres.
9. Square footage. ~208,555 SF building size.
10. Number of floors of construction. 4 level residential over 1 level parking
11. Amount of off-street parking provided. 255 parking stalls.
12. Attach plans. Enclosed.
13. Proposed scheduling. Grading/site work: 6/1/2025, Foundation: 8/1/2025, Framing: 2/1/2026, Exterior/Interior Buildout: 7/1/2026, Completion: 5/31/2027
14. Associated projects. The project is being proposed in compliance with SB330 and as such will need a site development permit for 180-unit senior housing project and master sign program approval for 180-unit senior housing project.
15. Anticipated incremental development. No incremental development.
16. If residential, include the number of units, schedule of unit sizes, range of sale prices or rents, and type of household size expected. 180 units (20% affordable at 80% of AMI). 9% studios (390 SF), 52% 1-bed (782 SF), 39% 2-bed (926 SF). Rents are anticipated to range from \$4-\$6/SF. Household size will range between 1 and 2 people.
17. If commercial, indicate the type, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities. N/A
18. If industrial, indicate type, estimated employment per shift, and loading facilities. N/A
19. If institutional, indicate the major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits to be derived from the project. N/A

20. If the project involves a variance, conditional use or rezoning application, state this and indicate clearly why the application is required. The Project is being submitted under SB330 (Builder's Remedy) and as such the City's current zoning does not apply since the City's housing element is out of compliance. Therefore, a variance, conditional use or rezone application is not required.

Are the following items applicable to the project or its effects? Discuss below all items checked yes (attach additional sheets as necessary).

	Yes	No
21. Change in existing features of any bays, tidelands, beaches, or hills, or substantial alteration of ground contours.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22. Change in scenic views or vistas from existing residential areas or public lands or roads.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
23. Change in pattern, scale or character of general area of project.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Significant amounts of solid waste or litter.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Change in dust, ash, smoke, fumes or odors in vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Change in ocean, bay, lake, stream or ground water quality or quantity, or alteration of existing drainage patterns.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Substantial change in existing noise or vibration levels in the vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Site on filled land or on slope of 10 percent or more.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
29. Use of disposal of potentially hazardous materials, such as toxic substances, flammables or explosives.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
30. Substantial change in demand for municipal services (police, fire, water, sewage, ect.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
31. Substantially increase fossil fuel consumption (electricity, oil, natural gas, ect.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
32. Relationship to a larger project or series of projects.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

### Environmental Setting

33. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site. Snapshots or Polaroid photos will be accepted.

The current site is an existing infill retail center that includes two non-anchored retail buildings totaling 28,780 SF on 106,199 SF of net lot area. The site's topography is generally flat with adequate soil stability (mostly bedrock – see soils report) to support current and proposed structures. As the site is mostly paved asphalt there is very minimal plant/vegetation on the site and with no observable animals on the property. Current plants on the site include Queen Palms, Little Gem Magnolia's, Strawberry trees (see arborist report). There are no known cultural or historical aspects to the site. There are some views at grade level when facing East looking towards Saddleback Valley and Saddleback Mountain.

34. Describe the surrounding properties, including information on plant and animals and any cultural, historical or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one-family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, set-back, rear yard, etc.). Attach photographs of the vicinity. Snapshots or Polaroid photos will be accepted.

The area surrounding the property is entirely built-out with mainly commercial (retail), institutional (church & schools) and single-family residential homes. Given its urban environment there is minimal plant life and no observable animals in the area. To the subject property's East is a retail shopping center (Courtyard at La Paz Shopping Center) that is approximately 20'-25' in height with about 285' in frontage along La Paz Rd. It has ~20' parking lot setbacks from La Paz Rd and ~20'-25' rear yard setbacks. To the site's immediate South is a church ranging in height from ~25' to ~40' at its highest point. Front setbacks are approximately 20' with rear yard setbacks are approximately 10'. The church has about 265' of frontage along MacKenzie St. Additionally, there are two single-family houses directly South of the subject property with rear yard setbacks of ~25' and ~40' and front yard setbacks of ~20'. To the East and North of the site is mainly single-family residential homes with homes to the North bisected by La Paz Rd and homes to the East separated by MacKenzie St.

### Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Date 03/18/24

Signature   
For LA PAZ VILLAGE INVESTORS, LLC



March 1, 2024

Sean Meyers  
Project Manager  
Cape Point Development, LLC

RE: Trash Pick Up Plan for La Paz Village Senior Housing

Dear Mr. Dean,

CR&R has reviewed the site plan provided by Cape Point Development, LLC for the planning area referenced above. Based on the updated plan diagram received via email on February 27, 2024, CR&R has determined we are able to accommodate the proposed trash can placements.

This letter is submitted as our approval.

Respectfully,

*Angelo De Guzman*

Angelo De Guzman  
Senior Sustainability Lead  
CR&R Incorporated

11292 Western Ave.  
P. O. Box 125  
Stanton, CA 90680

t: 800.826.9677  
t: 714.826.9049  
f: 714.890.6347

## PLANNING APPLICATION

Date Received: \_\_\_\_\_

Receipt #: \_\_\_\_\_

By: \_\_\_\_\_

Case #: \_\_\_\_\_

APPLICATION TYPE	FEE	DEPOSIT	CASE NUMBER
PRELIMINARY APPLICATION PROJECT REVIEW	\$665.31		PA
CHANGED PLAN (Minor)	\$1,389.31		CP
CHANGED PLAN (Major)		\$6,880.96	CP
APPEAL	\$7,344.84		APL
GENERAL PLAN AMENDMENT		\$7,874.32	GPA
ZONE CHANGE		\$10,977.54	ZC
VARIANCE		\$6,565.58	VA
CONDITIONAL USE PERMIT	Typical	\$8,500.49	CUP
	Modified	\$1,142.99	CUP
SITE DEVELOPMENT PERMIT (Major)	Typical	\$6,769.31	SDP
	Master Sign Program	\$6,769.31	MSP
SITE DEVELOPMENT PERMIT (Minor)	Typical	\$1,142.99	SDP
	Sign Program Amendment/Retaining Wall	\$1,142.99	SDP
ENVIRONMENTAL	Negative Declaration	\$3,853.71	
	Environmental Impact Report (EIR)	\$20,932.95	
TENTATIVE PARCEL MAP		\$9,580.17	TPM
TENTATIVE TRACT MAP (\$1,000 screen check fee plus)		\$9,580.17	TTR
LOT LINE ADJUSTMENT		\$1,185.58	LLA
OTHER			
PERMANENT RECORD RETENTION FEE (all applications)	\$93.23		

**DEPARTMENT USE ONLY ABOVE THIS LINE**

**APPLICANT TO COMPLETE**

**PROJECT INFORMATION**

PROJECT NAME: La Paz Village Senior Living

PROJECT ADDRESS/LOCATION: 25254 La Paz Rd, Laguna Hills, CA

ASSESSORS' PARCEL NUMBER 620-211-17      TRACT/PARCEL MAP & LOT #: P-Book 93 Page 50 Par 1

ZONING: Community Commercial      GENERAL PLAN DESIGNATION: Community Commercial

PROJECT DESCRIPTION: A 180-unit active adult senior living (55+) four-story type VA over one level type I podium parking, with amenities, plus one level type I basement.

APPLICANT: La Paz Village Investors, LLC      CONTACT PERSON: Nick Buchanan

E-MAIL ADDRESS: nbuchanan@proteallc.com      PHONE: 949-441-7442

ADDRESS/CITY 1010 S El Camino Real, Ste 200, San Clemente      STATE: CA      ZIP 92672

BILL TO: (person/company to receive refund or invoice for additional fees due) Cape Point Development      PHONE: 949-441-7442

ADDRESS/CITY 1010 S El Camino Real, Ste 200, San Clemente      STATE: CA      ZIP 92672

PROPERTY OWNER: La Paz Village Investors, LLC      PHONE: 949-441-7442

ADDRESS/CITY 1010 S El Camino Real, Ste 200, San Clemente      STATE: CA      ZIP 92672

**MAILING LIST CERTIFICATION:**

In accordance with Section 9-92 of the City of Laguna Hills Development Code, I certify that the property owners list included with this application contains the names of all legal owner and tenants of all parcels of land within (300) feet of the exterior boundaries of the attached legally described parcel of land, as shown on the latest adopted Orange County Tax Roll

APPLICANT'S SIGNATURE: \_\_\_\_\_

LA PAZ VILLAGE INVESTORS, LLC      DATE: 05/10/24

OWNER'S SIGNATURE: \_\_\_\_\_

NICHOLAS BUCHANAN

DATE: \_\_\_\_\_

# Waste Management Plan

## La Paz Village Senior Living

### Current Trash Management Plan:

- 3 Trash Enclosures
  - Enclosure 1:
    - 1-4 yd MSW 6X/Week
    - 1-4 yd RCY 6X/Week
    - 1-60 GAL FW 3X/Week
  - Enclosure 2:
    - 1-3 yd MSW 6X/Week
    - 1-3 yd RCY 2X/Week
    - 1-60 GAL FW 3X/Week
  - Enclosure 3:
    - 1-3 yd MSW 6X/Week
    - 1-4 yd RCY 2X/Week
    - 1-60 GAL FW 3X/Week

### Proposed Trash Management Plan:

- 1 Trash Enclosure
  - The trash operation will occur outside of the building, in the alley. The trash bins would be wheeled outdoors, so the heavy trash trucks would not enter the building. Trash will come from two trash chutes on the residential levels down into the garage level trash room. The trash room can accommodate 8 bins.
  - The trash room's door opens to the alley is 8 feet wide and 7' in height. There is an immediate 17' wide sidewalk adjacent to the building that can be designed to accommodate the staging area and curb cut to access the alley. There is no grade change between the ally and the building.



3/18/2024

Nick Buchanan  
1010 S El Camino Real, Suite 200,  
San Clemente, CA 92672

Dear Nick Buchanan:

Subject: **WILL SERVE LETTER: 25254 La Paz Road, Laguna Hills, CA 92653**

In accordance with SDG&E "RULES FOR THE SALE OF ELECTRIC ENERGY", filed with and approved by the California Public Utilities Commission, electric facilities can be made available to **25254 La Paz Road, Laguna Hills, CA 92653**.

If purchaser is to pay any cost for the installation and/or extension of utility service, the costs will be calculated in conformance with our extension and service rules.

Evidence of financial arrangements for the installation of electricity can be obtained from the developer and/or owner based on correspondence from SDG&E on this project.

Our ability to serve future projects in our service territory will depend on the supply of fuel and other essential materials available to us and on our obtaining government authorization to construct the facilities required.

We appreciate your business and hope you are very satisfied with our service. If I may be of further assistance or should you have any non-construction-related questions (easements, charges, etc.), please call me or your Project Support Coordinator at the number below. Our office hours are 7:00 a.m. to 4:00 p.m., Monday through Friday. For additional information, visit [sdge.com/builder-services](https://www.sdge.com/builder-services).

Sincerely,

*Phil Sheridan*

Phil Sheridan  
Planning Supervisor  
(949) 361-8052